

SEPT 2006

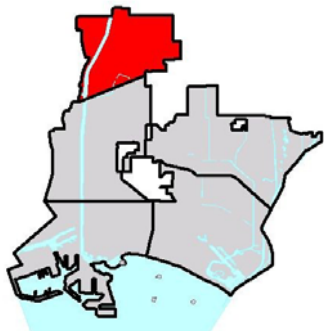
North Long Beach Community Planning Bulletin

City of Long Beach ■ Department of Planning and Building
Community and Environmental Planning Division

www.longbeach.gov/plan/pb/cpd



Revised September 18, 2006



The City of Long Beach is divided into five planning areas with a Community Planner assigned to each geographic area. This monthly bulletin is compiled by your community planner as a forum to update citizens on new developments and neighborhood issues as a way of keeping citizens involved in the planning process. Please contact Scott Mangum, North Long Beach Community Planner, at (562) 570-6435 or via email at Scott.Mangum@longbeach.gov if you have questions about this bulletin.

This bulletin is also available on the internet at:

www.longbeach.gov/plan/pb/cpd

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NEW APPLICATIONS

1. **Standards Variance requests for parking and open space to convert garage at 1330 E. 55th St. (Case 0607-23) LF (see Attachment 6)**

The 42' x 122' lot, zoned R-1-N (Single Family Residential), is currently developed with a legal nonconforming one-story duplex that sits in the front of the lot. The applicant is requesting standards variances to use a two-car garage in the rear of the lot as a laundry and bonus room with ½ bath and a storage/gym room. The applicant contends that the 7' wide driveway is too narrow to access the garage. The conversion would require variances for less than code required parking and usable open space. The property owner has been cited for illegally converting the two-car garage to living quarters. The owner is proposing to remove the bathing facilities from the bathroom.

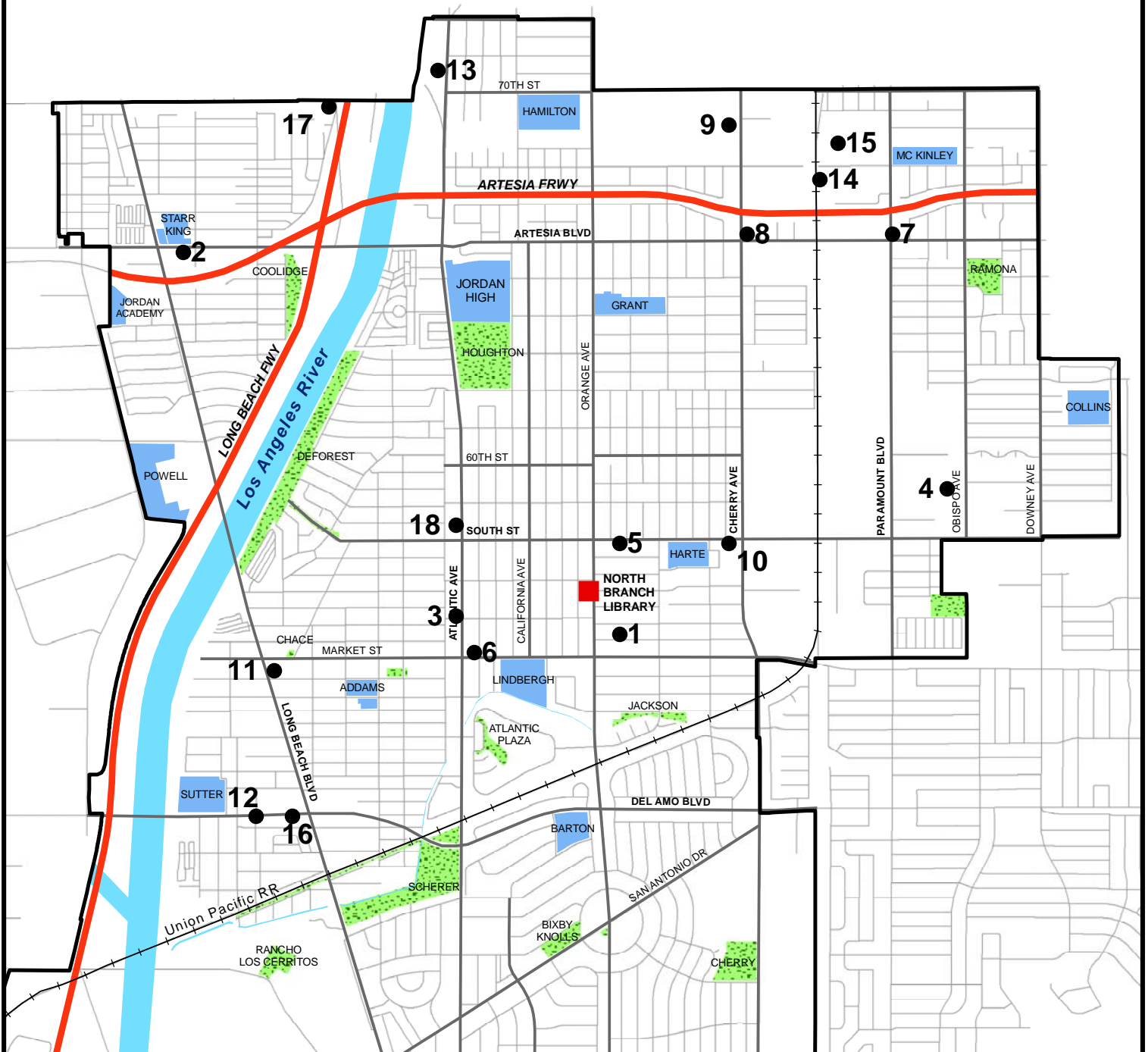
The Zoning Administrator **Public Hearing** is scheduled for **September 25, 2006**, at 2:00 P.M. in Planning and Building 7th Floor Conference Room. Written comments may be addressed to the Zoning Administrator, Carolyn Bihn, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

PENDING CASES PREVIOUSLY REPORTED ON

2. **Staff Site Plan Review for new Church building at 120 E. Artesia Blvd. (Case 0606-26) LH (see Attachment 5)**

The 1.3-Acre site is zoned I (Institutional) which permits Church uses. The Greater Open Door Church proposes to demolish the two existing church structures on site to build a new 28,218 SF two-story church building with a basement level. 330 seats are proposed on the first level with additional balcony seating on the second level. 50 parking spaces, along with additional office, classroom, and social hall space, are proposed. The Staff Site Plan Review Committee reviewed the project and delivered comments regarding the design, orientation, and parking shortage.

North Long Beach - Site Location Map



- Library
- Park
- School



0 1,250 2,500 5,000
Feet

1. 1330 E. 55th St. – SV for garage conversion (9/25 ZA)
2. 120 E. Artesia Blvd. - SSPR for new 28,218 SF Church Building
3. 525 E. 55th St. – CUP, SV for Church (PC)
4. 5875 Obispo Ave. – Mod CUP for Cellular Antenna Addition
5. 1340 E. South St. – Mod SPR for Cellular Antenna Addition
6. 5400 Atlantic Ave. – CUP for Automatic Car Wash (PC)
7. 2801 E. Artesia Blvd. – SSPR for 3877 SF retail building
8. 6640 Cherry Ave. – CUP for Check Cashing (10/5 PC)
9. 6901 Cherry Ave. – SSPR for new office building

3. Conditional Use Permit and Standards Variance for a Church at 525 E. 55th St. (Case 0408-37) JW (see Attachment 2)

The 90' x 110' lot, located at the Northwest corner of 55th Street and Atlantic Avenue, is zoned CCA (Commercial Community Automobile-Oriented). The structure was originally constructed in 1946. The Church occupies a total of approximately 5,000 SF, a 3,640 SF sanctuary and a 1,350 SF annex, in two of the three tenant spaces in the building. Churches are permitted in the CCA zone with a Conditional Use Permit. The God's Divine Center of Holiness, which currently conducts church services and group counseling at this location, was cited by code enforcement for operating without a CUP. The 4 parking spaces located on site are less than code required parking.

Initial research indicates that a church was established at this location in 1972. A Planning Commission date will be scheduled once further information has been received regarding the period of time that a church has been present at the location.

4. Modify Conditional Use Permit for Cellular Monopole at 5875 Obispo Ave. (Case 0608-13) CJ (see Attachment 10)

The applicant proposes modify a Conditional Use Permit to add three new cellular antennas to the existing to the existing 45' tall monopole and locate screened equipment cabinets at ground level enclosed by a wall. The site is located in the IL and IG (Light and General Industrial) zones. The Conditional Use Permit for the monopole was originally approved in 1998 and modified in 2002 to co-locate an additional cellular carrier. The Staff Site Plan Review Committee will review the modification request.

5. Staff Site Plan Review of Modification to a Roof Mounted Cellular Antennas at 1340 E. South St. (Case 0608-13) CJ (see Attachment 11)

The applicant proposes to attach three new cellular antennas to the existing residential building and locate screened equipment cabinets at ground level enclosed by a wall. Existing attached cellular antennas and equipment cabinets were approved in 2002. The site is located in the CNR (Neighborhood Commercial and Residential) zone. Attached/roof mounted cellular and personal communication services are permitted by right in Commercial zones, but are subject to special development standards and must be reviewed through Staff Site Plan Review.

6. Conditional Use Permit for Automatic Car Wash at 5400 Atlantic Ave. (Case 0606-23) LH (see Attachment 9)

A new 950 SF automatic drive-thru car wash is proposed in addition to the existing gas station at 5400 Atlantic Avenue. The 110' x 180' site at the Northeast corner of Atlantic Ave and Market Street is zoned CCA (Community Automobile-Oriented Commercial). A Conditional Use Permit is required for car washes in the CCA zone. The automated system proposed operates using a PIN number purchased by the customer and entered into a console. Signals alert the driver to enter and automated wash bay, to enter the automated dryer bay, then to exit the structure. Proposed hours of operation are 7 am to 8 pm.

The applicant will submit revised plans based on feedback received from City Departments at the Technical Advisory Committee. A Planning Commission date will be scheduled once revised plans are submitted.

7. Staff Site Plan Review for new 3,877 SF retail building at 2801 E. Artesia Blvd. (Case 0303-28) JU (see Attachment 19)

The 13,281 SF lot, zoned CCA (Commercial Community Automobile-Oriented), is currently vacant. A one-story 3,877 SF retail building with three lease areas and 17 parking spaces is proposed. As background, the applicant filed for Site Plan Review in 2003, but was never approved. The project was reviewed through Staff Site Plan Review and design comments were provided to the applicant.

8. Conditional Use Permit for Check Cashing at 6640 Cherry Ave. (Case 0605-29) JW (see Attachment 1)

A Check Cashing operation is proposed within existing commercial center at 6640 Cherry Avenue (Northeast corner of Cherry Avenue and Artesia Boulevard). Orange Rocket is the proposed operator. The 1,810 SF vacant tenant space was previously occupied by an auto-parts store. A Conditional Use Permit is required for Check Cashing in the CCA zone. The Planning Commission continued the hearing to the September 7, 2006 Planning Commission Hearing. Staff has recommended that the Planning Commission again **continue** the hearing to the **October 5, 2006** in order to compile citywide police statistics and policy research regarding check cashing operations.

The Planning Commission **Public Hearing** is scheduled for **September 21, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

9. Staff Site Plan Review for new two story 3,468 SF office building at 6901 Cherry Ave. (Case 0605-18) JU (see Attachment 16)

The 970' x 130' site, zoned IG (General Industrial), is currently developed as a trucking parking lot with a trailer office. A new 3,468 SF 2-story office building with 15 parking spaces is proposed along with the removal of the existing trailer office and new paving at the entrance of the site. The project was reviewed through Staff Site Plan Review and comments were provided to the applicant for a redesign.

10. Conditional Use Permit for new cellular Monopole at 1900 South St. (Case 0603-72) LH (see Attachment 12)

A 45' high cellular monopole, designed as a freestanding "steeple" supported by three poles with a sign shielding the antennas, is proposed in the parking lot of the Glad Tidings Church. The equipment cabinets are proposed on the ground adjacent to the pole enclosed by a 7' high block wall. A Conditional Use Permit is required for cellular monopoles in all Commercial zones. The Planning Commission Public Hearing will be scheduled once revised plans are submitted.

11. Conditional Use Permit for a Church at 5350 Long Beach Blvd. (Case 0601-37) SV (see Attachment 3)

The approximately 57' x 119' lot is zoned CCA (Commercial Community Automobile-Oriented). The structure was originally constructed as a retail store, and occupied by Jones Department Store. Churches are permitted in the CCA zone with a Conditional Use Permit. The Shield of Faith Church, which currently conducts services at this location, was cited by code enforcement for operating without a CUP. The Church uses a 14-space parking lot located across the alley behind the Church. The Planning Commission will hear the CUP request at a date uncertain. The Church has notified staff that they are looking for new location and have identified a site that is for sale.

12. Conditional Use Permit for a Day Care Center at 85 W. Del Amo Blvd. (Case 0602-06) SV (see Attachment 7)

A Child Day Care Center is proposed at an existing 1,704 SF single-family structure at 85 W. Del Amo Boulevard. The 5,150 SF lot is zoned R-1-N. A Conditional Use Permit is required for Day Care Centers with more than 15 persons in the R-1-N zone. The applicant is proposing to care for 31 children. Child Care facilities must also be licensed by the State of California Department of Social Services. A Special Inspection has been completed to identify potential code issues.

The Planning Commission **Public Hearing** is scheduled for **September 21, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

13. Standards Variances to legalize horse stalls at 7105 Atlantic Place (Case 0509-29) JU (see Attachment 4)

The property, zoned R-2-N, is located within a Horse Overlay District. The Horse Overlay District establishes regulations, safeguards, and controls for keeping and maintaining horses. A property within the Horse Overlay District and R-2-N zone may keep one horse for every 2,500 SF of lot area. The applicant requests to legalize 18 horse stalls, where a maximum of 8 horses/horse stalls are allowed by code. The applicant is also seeking standards variances for setbacks from rear and side property lines (0' setback is proposed where 10' is required) and minimum distances between horse stalls and other structures. The property owner has been cited by code enforcement. The applicant has **revised** the application by proposing to demolish 8 older wooden stalls and to legalize the 12 existing concrete block stalls. The revised plan is not accurate. A Zoning Administrator hearing will be scheduled when accurate plans are submitted.

14. Modification of a Conditional Use Permit for a proposed LNG fueling station and tank at 2531 E. 67th St. (Case 9805-11, 9805-18) DB (see Attachment 13)

A new 50-foot high (12' diameter) Liquefied Natural Gas (LNG) storage tank and fueling station at the Consolidated Disposal Service yard at 2531 E. 67th Street is proposed. Consolidated states that the use of cleaner burning LNG vehicles, replacing the current diesel-fueled vehicles, will be phased in over time with 57 to be in operation by 2006 and 141 by 2012. The location of the new fueling station would be in close proximity to the existing

diesel fueling station at the Western edge of the site near the Union Pacific Railroad tracks. Negative Declaration 07-05 will be prepared to evaluate potential environmental impacts.

The City of Long Beach Planning Commission approved the construction and expansion of an existing recycling center (originally established in the 1970s) and the construction of a new administration building with an appurtenant truck terminal facility in August of 1998. The current request requires a modification of the 1998 approval.

A firm Planning Commission date will be set once off-site improvements are met to the satisfaction of the Public Works Department.

15. Mitigated Negative Declaration (Environmental Review) for revision of Solid Waste Facility Permit at Bel-Art Waste Transfer Station, 2501 E. 68th St.

Bel-Art Waste Transfer Station, located at 2501 E. 68th Street, has applied to the County of Los Angeles Department of Health Services for a revision of their Solid Waste Facility Permit to allow an increase in the amount of material delivered to the facility from the current legal maximum of 1,500 tons per day to 4,000 tons per day. Bel-Art receives and temporarily stores non-hazardous municipal solid waste, greenwaste, and recyclable materials, and subsequently consolidates and transfers this material to disposal sites and recycling facilities. Waste is delivered primarily by commercial waste collectors, but Bel-Art also accepts waste from the general public.

As background, the City of Long Beach Planning Commission approved the construction and expansion of an existing recycling center (originally established in the 1970s) and the construction of a new administration building with an appurtenant truck terminal facility in August of 1998. Negative Declaration 26-98 was also certified at this time.

The County of Los Angeles DHS, Solid Waste Management Program, received written comments related to the Mitigated Negative Declaration through October 25, 2004. According to a March 6, 2005 letter from LA County, senior management staff may decide whether to certify the Mitigated Negative Declaration. The City of Long Beach Environmental Officer responded to the Mitigated Negative Declaration with a letter commenting on the Noise, Traffic, and Air Quality sections of the document. At its October 19, 2004 meeting, the Long Beach City Council voted unanimously to adopt a resolution in opposition to the proposed solid waste facility permit revision for the Bel-Art Waste Transfer Station.

The Los Angeles County Department of Health Services, Solid Waste Management Program heard testimony at a Public Hearing on October 29, 2004, at McKinley Elementary School. Approximately 150 residents attended. If the Solid Waste Facility Permit revision were to be approved by the LA County Solid Waste Management Program, there would be a second hearing held by the California Integrated Waste Management Board prior to final consideration of the permit revision.

As of August 30, 2006 both the Solid Waste Facility Permit Revision and the certification of the Mitigated Negative Declaration are still **pending**.

ACTIONS ON COMPLETED CASES

16. Standards Variance request for a new single family dwelling at 20 W. Del Amo Blvd. (Case 0607-04) MH

The 33' x 73' (2,409 SF) vacant lot is zoned R-3-T (Townhouse Residential). The applicant is proposing to build a new 1,353 SF two-story single family house and two-car garage with a 3' side yard setback and an 8' front yard setback, where a 5' side yard setback and 15' front yard setback are required by code. Additional standards variances requested are a porch projection to within 4' of the front property line (instead of no closer than 10') and roof eaves located 1'6" from the side property line (instead of no closer than 2' 6").

The Zoning Administrator **approved** the standards variance requests with conditions at the August 21st hearing.

17. Staff Site Plan Review Cellular Antenna Addition to existing SCE Tower at roughly Greenleaf Ave. and 710 Freeway (Case 0606-30) CJ

The applicant proposes to attach new cellular antennas, at 54' in height, to an existing 125' tall SCE transmission tower and locate equipment cabinets at ground level screened by a fence. This portion of the SCE Right-of-Way is currently used as a nursery. The site is located in the PR (Public Right-of-Way) zone. Attached/roof mounted cellular and personal communication services are permitted by right in the Public Right-of-Way zone, but are subject to special development standards and must be reviewed through Staff Site Plan Review. The Site Plan Review Committee **approved** the addition.

18. Mitigated Negative Declaration (Environmental Review) for North Long Beach Village Center Land Clearing (ND 15-06) JG

Mitigated Negative Declaration 15-06 has been prepared to evaluate the potential environmental impacts of the demolition of structures on nine parcels in the North Long Beach Redevelopment Project Area. The parcels would be cleared and assembled for future development by the Long Beach Redevelopment Agency. Parcel addresses include 5821, 5833, 5837, 5841, 5853, 5873 and 5881 Lime Avenue, 5878 Linden Avenue, and 501 E. South Street.

As background, the Long Beach Redevelopment Agency has acquired a number of parcels via voluntary sales in the Village Center (Atlantic Avenue and South Street) and has issued a Request for Proposals to developers for the Northern two blocks at that intersection. The Redevelopment Agency Board **certified** the Mitigated Negative Declaration at its August 21, 2006 meeting.

ANNOUNCEMENTS

19. 9th District Corridor Cleanups and Town Hall Meeting

The next monthly cleanup will be on the Artesia Corridor from Paramount Boulevard to Downey Avenue on **Saturday September 16th** from 9am-Noon. Meet at the Farmers and Merchants Bank Parking lot at 3290 E. Artesia Boulevard.

20. California Coastal Cleanup at De Forest Park Nature Trail, September 16th, 9am

21. 10th Annual Veterans Day Parade, Saturday November 11th

The parade route begins at Atlantic Avenue and Harding Street and heads south on Atlantic Avenue to 56th Street looping back to Houghton Park (Harding).

22. General Plan Update (GPU) – PHASE II

The City of Long Beach began a project a year and a half ago to update the General Plan. The General Plan provides the roadmap for the City's growth and development over the next 20 to 25 years. A General Plan reflects the community's vision through goals and policies that are implemented through strategic plans, land use plans, design guidelines, and zoning regulations. The General Plan helps shape how the City will change over time. How will neighborhoods change, will there be new shopping areas, should there be mixed use development along major streets, what type of jobs and businesses will exist, what will future buildings look like, how will people move around throughout the City, what kind of streets, sidewalks and landscaping will there be, and most important, how will Long Beach continue to be a great place to live, work and play.

The first phase of the General Plan update is complete. Community Cluster Advisory Teams, made up of individuals from five Community Planning Areas came together to provide input and identify issues. Not surprisingly, these geographic groups identified many of the same issues and concerns.

During Phase II of this process it will be important for the community to develop a shared vision for the future in Long Beach. There will be a creative and comprehensive public outreach program to shape the vision. If you have ideas about the various ways we can reach the widest possible audience, please tell us. We are interested in reaching out to faith-based groups, neighborhood watch, community organizations and other public gatherings that would be good opportunities for public participation on the General Plan.

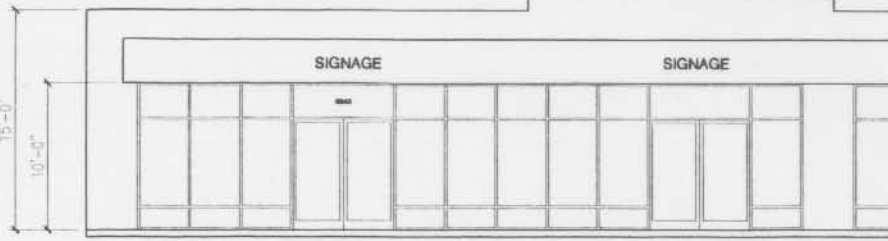
With your participation, we can shape a General Plan to reflect our shared values and vision, and provide a roadmap that takes Long Beach into the future. Maps, demographic information, reports, documents, and community cluster input, is available online at: http://www.longbeach.gov/apps/advance_plan/index.html

IMPORTANT PHONE NUMBERS

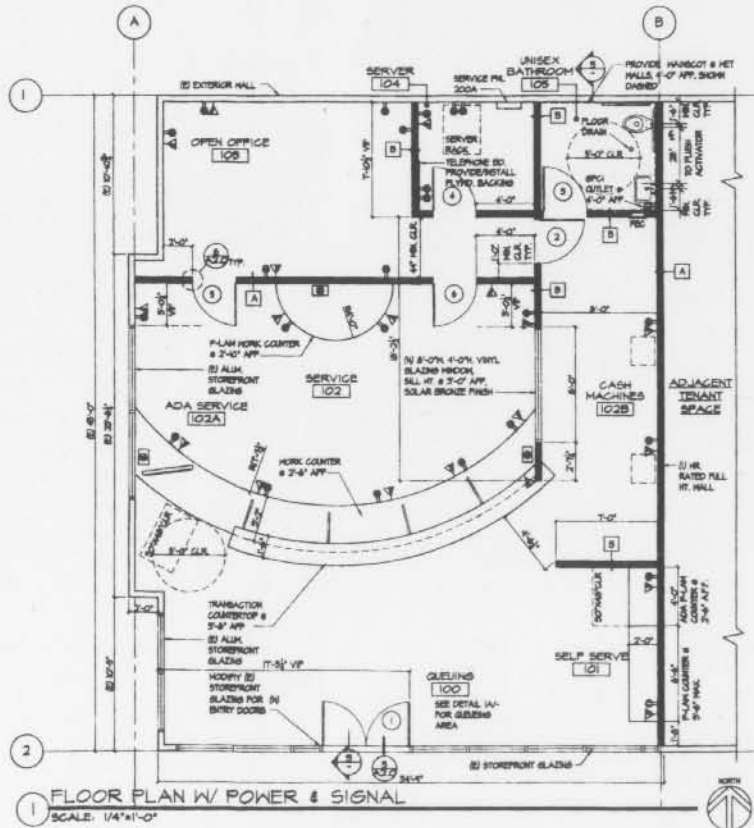
Council Member (8 th District), Rae Gabelich	(562) 570-6685
Council Member (8 th District), Field Office	(562) 570-1326
Council Member (9 th District), Val Lerch	(562) 570-6137
Council Member (9 th District), Field Office	(562) 570-3319
Police, toll free, anonymous, Gang Tip	1- (866) 426-4847
Police non-emergency calls	(562) 435-6711
Police narcotics tip	(562) 570-7125
Community Policing, Marlene cyarron@longbeach.gov	(562) 570-9825
Animal Control Center	(562) 570-7387
Rats, Roaches, Vermin & Other – Environmental Health	(562) 570-4132
Pot Hole Patrol, reporting street pot holes	(562) 570-3259
Maintenance for City Traffic Signs	(562) 570-5264
Abandoned shopping carts removal	1-(800) 252-4613
Things on power lines, SCE Hazardous Conditions	1-(800) 611-1911 press 2, then 4
Property Maintenance, Building, Zoning Code Enforcement	(562) 570-CODE
Zoning Information	(562) 570-6194
Building Permit information	(562) 570-6651
Historic Preservation	(562) 570-6864
Call Before you Dig (Underground Service Alert)	(800) 227-2600
Noise Complaint, Environmental Health	(562) 570-5650
Unlicensed food vendors Business License	(562) 570-6211 ext. 7
Unlicensed food vendors Health & Human Services	(562) 570-4219
Damaged Sewer lines from street trees	(562) 570-3259
Graffiti hotline, on private property	(562) 570-2773
Graffiti in City Parks, Park Maintenance, Emy Arteaga	(562) 570-4895
Graffiti in City Beaches	(562) 570-1582
Graffiti on County flood control channel	(562) 256-1920
Graffiti on Union Pacific Railroad property	(714) 379-3376
Graffiti on Caltrans property, Christine Anderson	(310) 342-6161
Special Refuse Pick-ups (Free twice a year for large items)	(562) 570-2876
Public Service	(562) 570-2700 listen to menu
Neighborhood Resource Center, Margaret Madden	(562) 570-1010
Storm Drain Hotline, report items dumped in storm drain	(562) 570-3867
City Park Issues, Tom Shippey	(562) 570-4899
Street Median Issues, Tom Shippey	(562) 570-4899

ATTACHMENT 1

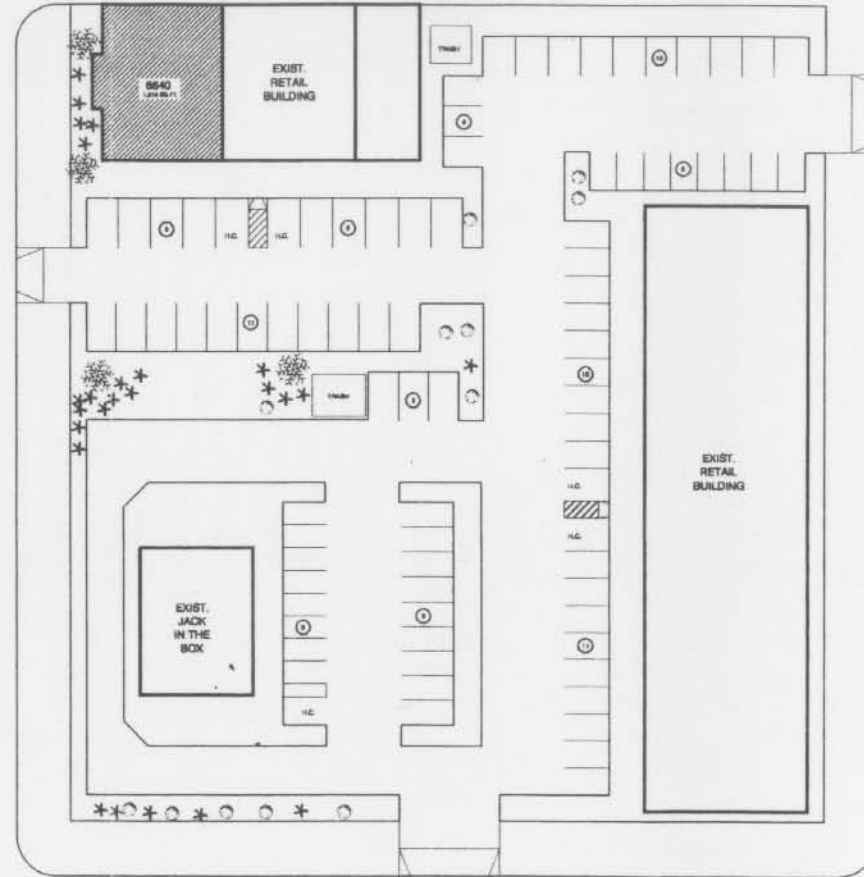
ARTESIA FREEWAY (91)



2 FRONT ELEVATION
1/4" = 1'-0"



CHERRY AVENUE



ARTESIA BOULEVARD

SCHILLING AVENUE

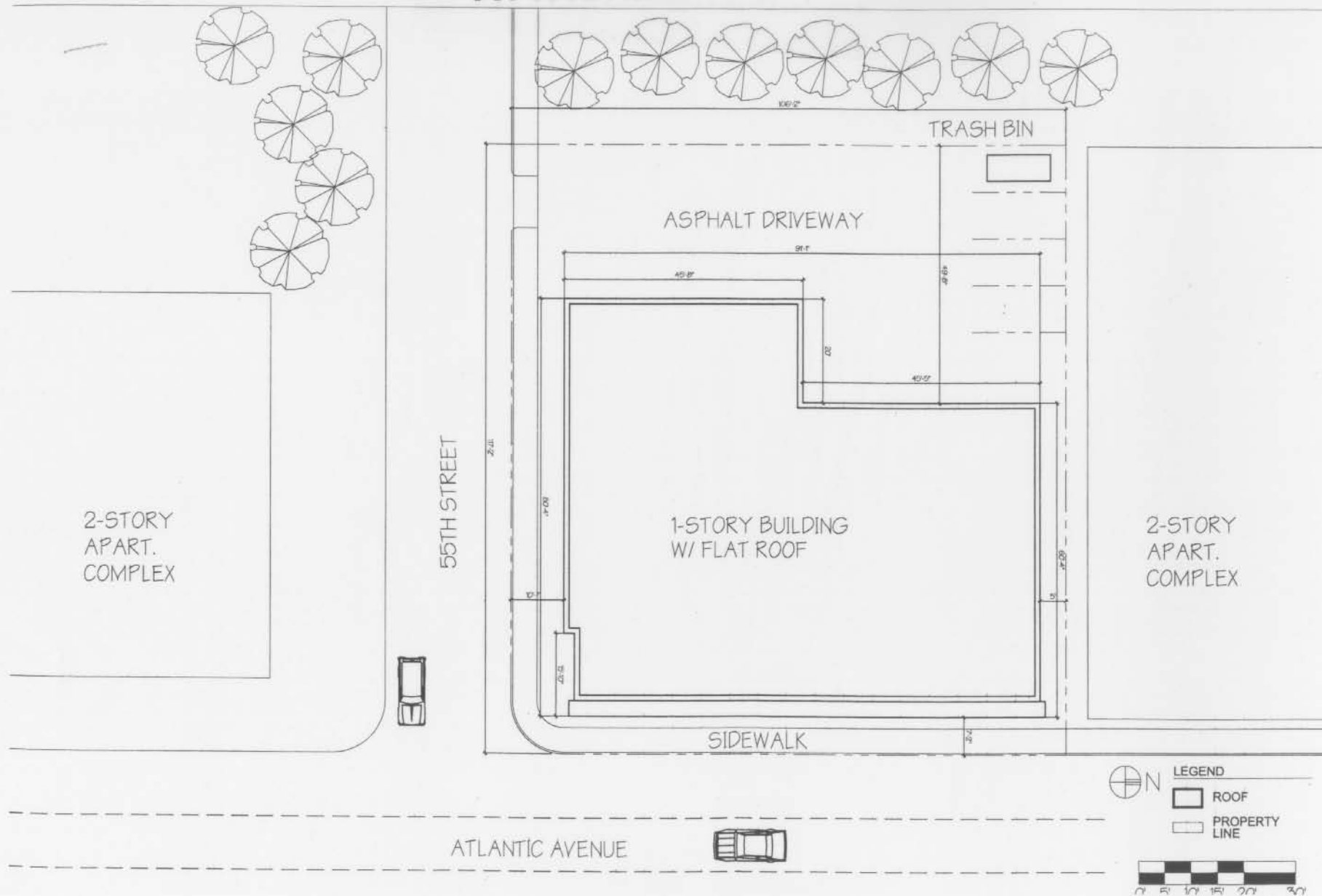
1 SITE PLAN
1/4" = 1'-0"

TOTAL PARKING STALLS = 85



REVISIONS	
PLANS FOR	
6640 CHERRY AVE. LONG BEACH, CA 90805	
SITE PLAN, FLOOR PLAN ELEVATION	
DATE	5/18/2006
BY	ET
A-1	

ATTACHMENT 2



SITE PLAN

URBAN FORM
14404 LEMOLI AVENUE #205
HAWTHORNE, CA. 90250

GOD'S DIVINE CENTER OF HOLINESS
DELIVERANCE CHURCH
525 E. 55TH STREET
LONG BEACH, CA. 90805

PROJECT NO.
RELEASED FOR BIDDING DATE:

DATE:
3/5/02
DRAWN BY:
JASON

REVISED DATE:
CHECKED BY:

ASPHALT DRIVEWAY


$$1/8" = 1'-0"$$

2

$$1/8'' = 1'-0''$$

1

A-3

REVISED
DATE: _____
CHECKED BY: _____

URBAN FORM
14404 LEMOLI AVENUE #205
HAWTHORNE, CA. 90250

ATTACHMENT 3

CONDITIONAL USE PERMIT APPLICATION FOR:
SHIELD OF FAITH CHRISTIAN CENTER
2550 Long Beach Blvd., Long Beach, CA. 90805
Pastor: Dr. Arlin M. Alexander
(562) 422-7886

APPLICATION PREPARED BY:
RICK STARR / CHARLES A. HUNTER, JR.
1052 BINGHAM AVENUE
SUITE 200, B
DANA POINT, CA. 92629
Phone Number: (562) 235-6185

SUBJECT PROPERTY:
5350 LG. BEACH BLVD.
LONG BEACH, CA 90805

PLOT PLAN
1/8" = 1'-0"



SHIELD OF FAITH CHRISTIAN CENTER
5350 LONG BEACH BLVD., LONG BEACH, CA. 90805

REVISIONS	BY

Date	
Scale	
Drawn	
Job	
Sheet	1
Of	Draws

SHIELD OF FAITH CHRISTIAN CENTER
5330 LONG BEACH BLVD., LONG BEACH, CA. 90805



7105 N. ATLANTIC PL.



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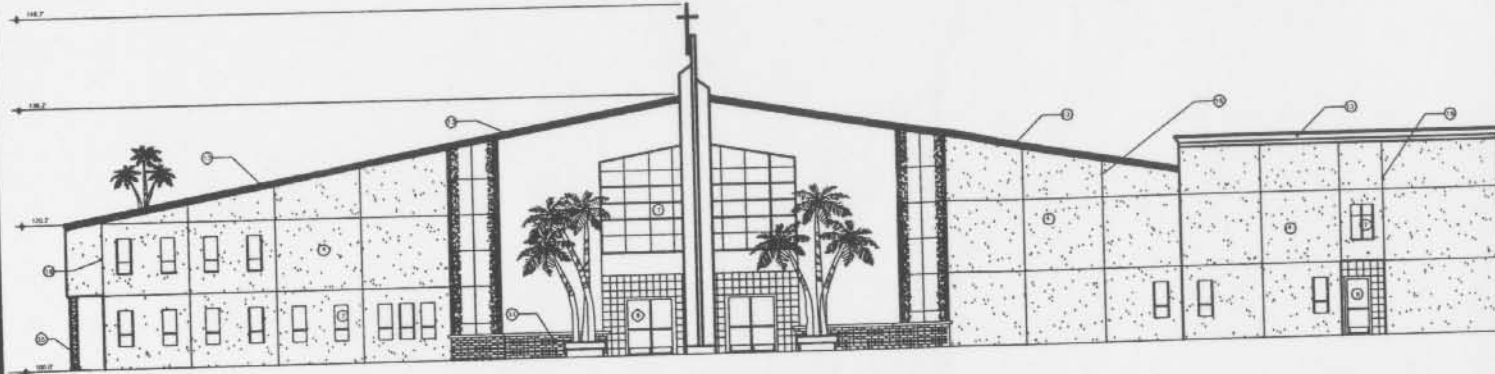
EAST ARTESIA BLVD.



PROPOSED PLAYGROUND	5,383 SQ. FT.
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DRAWN
CHECKED
DATE
SCALE
NOTED
JOB NO.
SHEET
A-1.1

ATTACH. 5 (Cont.)



NORTH ELEVATION

SCALE: 1/8"=1'-0"

NORTH-WEST ELEVATION

WEST ELEVATION

MATERIAL LEGEND

1. FOUNDATION PER STRUCTURAL
2. FRAMING PER STRUCTURAL
3. GYPSUM BOARD PER STRUCTURAL
4. EXTERIOR PLASTER (STUCCO) 1/2"
5. ROOFING TYPE A, CERAMIC TILES
6. ROOFING TYPE A, METAL ROOFING
7. WINDOW PER SCHEDULE
8. DOOR PER SCHEDULE
9. EXPOSED FRAMING, STAIN
10. 1/2" TYPE 'X' GYPSUM BOARD, PAINT
11. LIGHT FUTURE (X) NOT SHOWN
12. 1/2" GUTTER, PAINT
13. DECORATING PANEL, PAINT
14. EXTERIOR WHITE, PAINT
15. OPENABLE PARTITION
16. ONE WINDOW SCHED
17. EXTERIOR PLASTER (STUCCO) 1/2"
18. PLASTER CORNER, JOINT, PAINT
19. WINDING ON GUARDRAIL, PAINT
20. DOWNPOUT, PAINT
21. 1/2" BATT INSULATION
22. 6-11 INSULATION
23. GALV METAL FLASHING, PAINT
24. CABINET AND 1/2" WIND
25. GUTTER PER SCHEDULE, 1/2" GUTTER
26. ROOF DRAIN AND OVERFLOW
27. FLOORING
28. CERAMIC WALL TILE
29. CERAMIC FLOOR TILE
30. N.Y.C.
31. 1/2" GUTTER DETAILS
32. 3/4" HIGH CHAIR RAIL, PAINT
33. BRICK VENEER
34. 1/2" LUMBER, PAINT
35. BRICK VENEER COLUMN
36. FIRE EXTINGUISHER CABINET
37. 1/2" PARAPET WALL

ROOF NOTES

1. HEIGHT INDICATED ON THIS PLAN ARE TO TOP OF PLUMBED UNLESS NOTED OTHERWISE. HEIGHTS ARE MEASURED FROM TOP OF MAIN FLOOR CONCRETE SLAB.
2. MINIMUM ROOF SLOPE INCLUDING RIDGES TO BE 3/8" PER FOOT.
3. CONCRETE FOR ROOF SHALL BE FINISHED WITH 1/2" WOOD MEMBERS @ 24" O.C. MAXIMUM AND 1/2" PLYWOOD SHEATHING. CONCRETE ARE INDICATED BY BRACKETED AREAS ON ROOF PLAN. SEE DETAIL FOR MORE INFORMATION.
4. 1/2" DOWNPOUT, 1/2" ROOF DRAIN, 1/2" OVERFLOW DOWNPOUT, ROOF DRAIN, AND OVERFLOW TO RUN IN WALL, UNLESS NOTED OTHERWISE.
5. REQUIRED ROOF MEMBERS OF CLASS B PER UBC TABLE 504.
6. ROOF TYPE TO BE USED: TYPE A CERAMIC TILES CLASS A ROOF PER UBC SECTION 5000. TYPE B BUILT-UP ROOFING, CLASS A ROOF PER UBC SECTION 5000.

BUILT-UP ROOF

1. LOW SLOPE ROOF SHALL BE COVERED WITH BUILT-UP COMPOSITION ROOFING.
2. THREE LAYERS 1/8" FIBER GLASS FELT AND BE POLYMER CERTIFIED HOT MOP BETWEEN EACH LAYER WITH A 1/2" POLYMER GLASS FELT MATTED ON BEND, RIDGES, AND AT ALL PARAPET WALLS. INCLUDE GUTTER STRIPPER CO. SHEET METAL, 1/2" BATT FLASHING AT ALL ROOF-WALL INTERSECTION.
3. PROVIDE 1/2" GALV. G.I. COPING OVER PARAPET WALLS WITH GUTTER EDGES ON BOTH SIDES (TYP.) WHERE REQUIRED.
4. ROOF AND OVERFLOW DRAIN TO MATCH EXISTING.
5. PROVIDE ROOF GUTTERS, LEAKERS, AND DOWNPOUTS REFER EXTERIOR ELEVATION.

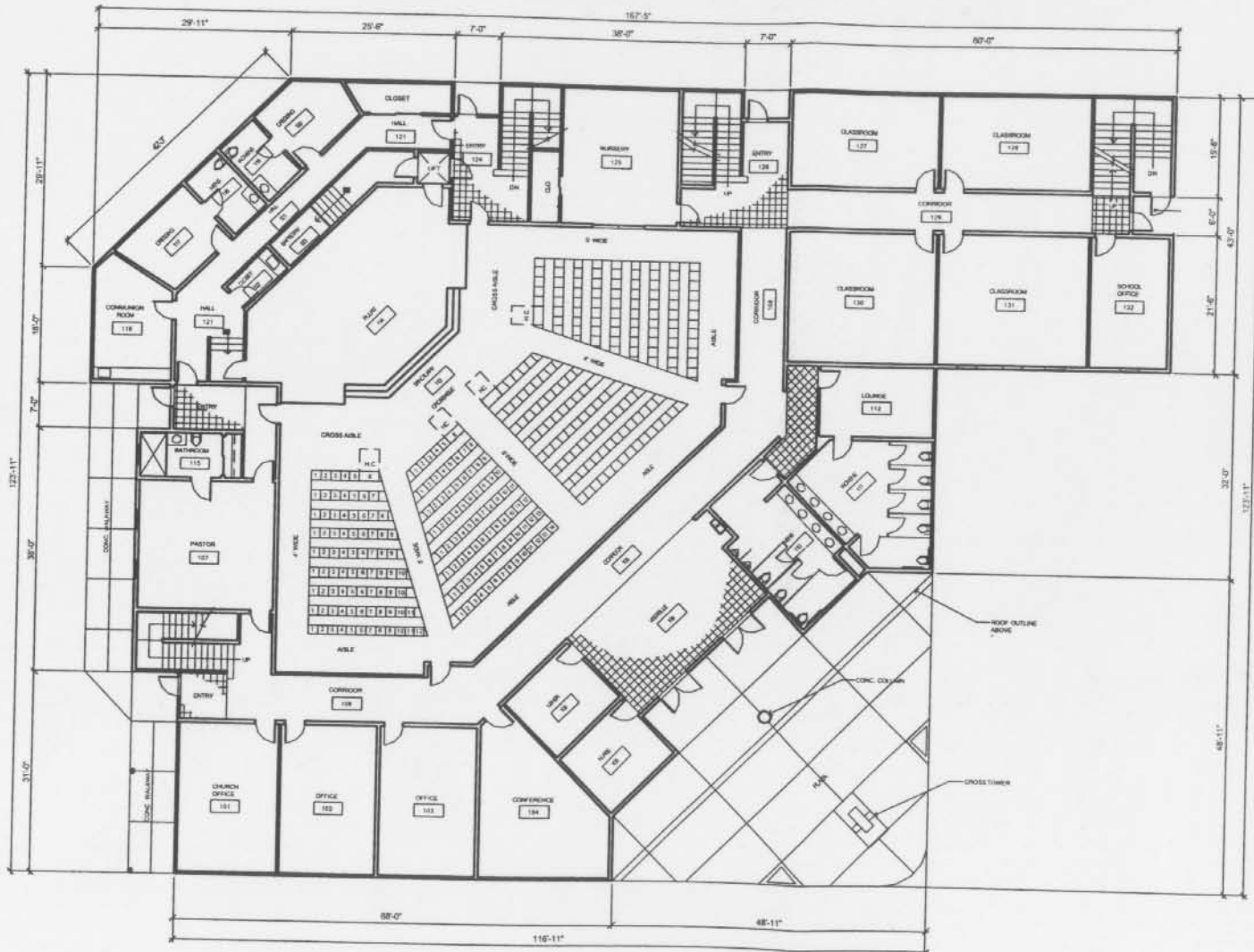
REVISIONS	BY

R J Thomas Associates, Inc.
 architecture • planning • engineering •
 • Rancho Cucamonga, CA. 91737
 Telephone: (909) 944-7144
 Fax: (909) 944-3090

ELEVATIONS
GREATER OPEN DOOR
 130 E. ARTESIA BLVD.
 LONG BEACH, CA. 90810

DRAWN
CHECKED
DATE
SCALE
WTR
JOB NO.
SHEET
A-3.1
OF SHEETS

ATTACH. 5 (Cont.)



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING OCCUPANCY

THESE OCCUPANCY AREAS DO NOT COUNT TOWARDS TOTAL OCCUPANCY LOAD. THESE OCCUPANCY SPACES ARE USED BY PERSONS WHO AT OTHER TIMES OCCUPY THE MAIN AREAS OF THE BUILDING. NUMBER OF SEATS BASED ON NUMBER OF TOWERS SEAT AND/OR LINE PERSON PER 10' OF PER LENGTH (NARS, 30 USC 3086). * SUNNY SCHOOL ROOMS SHALL BE USED LESS THAN 12 HOURS WEEKEND & LESS THAN 4 HOURS WEEKDAY.

FIRST FLOOR

NO.	ROOM/AREA	NET AREA (S.F.)	OCCUP.	OCCUP. LOAD (FACTOR)	OCCUP. (SAND)
101	CHURCH OFFICE	340	8	100	3.4
102	OFFICE	344	8	100	3.4
103	OFFICE	344	8	100	3.4
104	CONFERENCE	341	8	15	25.4
105	NURSE	104	8	100	1.04
106	USHER	104	8	100	1.04
107	FACTORY OFFICE	433	4	100	4.3
108	CORRIDOR	1040	-	-	-
109	VESTIBULE	447	-	-	44.7
110	MEHS	308	-	-	-
111	MEHS	341	-	-	-
112	LOUNGE	193	8	15	12.96
113	SANCTUARY	2383	A	2	481.7
114	PULPIT	774	-	-	51.6
115	BATHROOM	100	-	-	-
116	COMMUNION	206	8	100	2.06
117	DRESSING	147	8	50	2.94
118	MEHS	75	-	-	-
119	MEHS	75	-	-	-
120	DRESSING	130	8	50	2.6
121	HALL	304	-	-	-
122	JANITORY	40	8	100	4
123	ENTRANCE	130	8	100	1.3
124	ENTRANCE	130	8	100	1.3
125	NURSE	434	8	15	25.4
126	ENTRANCE	181	-	-	18.1
127	CLASSROOM	334	8	20	16.7
128	CLASSROOM	334	8	20	16.7
129	CLASSROOM	334	8	20	16.7
130	CLASSROOM	472	8	20	23.6
131	CLASSROOM	471	8	20	23.55
132	ENTRANCE	245	8	100	2.45

OCCUPANCY CAPACITY SIGN SCHEDULE

ANY ROOM HAVING OCCUPANCY LOAD OF 50 OR MORE WHEN FIXED SEATS ARE NOT INSTALLED, AND WHICH IS USED FOR CLASSROOM ASSEMBLY OR SIMILAR PURPOSE, SHALL HAVE THE CAPACITY OF THE ROOM POSTED IN CONSPICUOUS PLACE ON AN APPROVED SIGN NEAR THE MAIN EXIT FROM THE ROOM. SUCH SIGN SHALL BE INSTALLED LEASER BY THE OWNER OR HIS AUTHORIZED AGENT AND SHALL INDICATE THE NUMBER OF OCCUPANTS PERMITTED FOR EACH ROOM USE. SIGN SECTION 3000. POST AN OCCUPANCY SIGN (S.S.) IN ROOMS AS LISTED BELOW AND SEE PLANS FOR LOCATION. MOUNT SIGN 1 FT. MIN. ABOVE FLOOR TO TOP OF SIGN. SEE SPECIFICATIONS FOR MATERIALS TO BE USED AND ADDITIONAL INFORMATION.

SEATING SCHEDULE

113 SANCTUARY

1. REGULAR SEATING
2. WHEEL CHAIR (WC)
3. PULPIT REGULAR
4. PULPIT WHEEL CHAIR

TOTAL: _____

213 MEZZININE

1. REGULAR SEATING
2. FIX COMPANION (WC)

TOTAL: _____

TOTAL SEATING: _____

* ALL FIXED SEATING ARE PEWS.

OTHER NOTES:

- A. D.S. - OCCUPANCY SIGN - SEE SHEET
- B. A - INTERNATIONAL SYMBOL OF ACCESSIBILITY - SEE SHEET
- C. F.E. - FIRE EXTINGUISHER CABINET - SEE SHEET
- D. W.C. - WHEELCHAIR SPACE
- E. A SEATING ONE SHOTTOP W/VIS SHALL BE INSTALLED ON EA. GAS LINE FURNISHED BUILDING. CONTACT PLUMBING DIVISION FOR PERMIT.
- F. PLUMBING FACILITIES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 10001 OF L.A. PLUMBING CODE.

REVISIONS BY

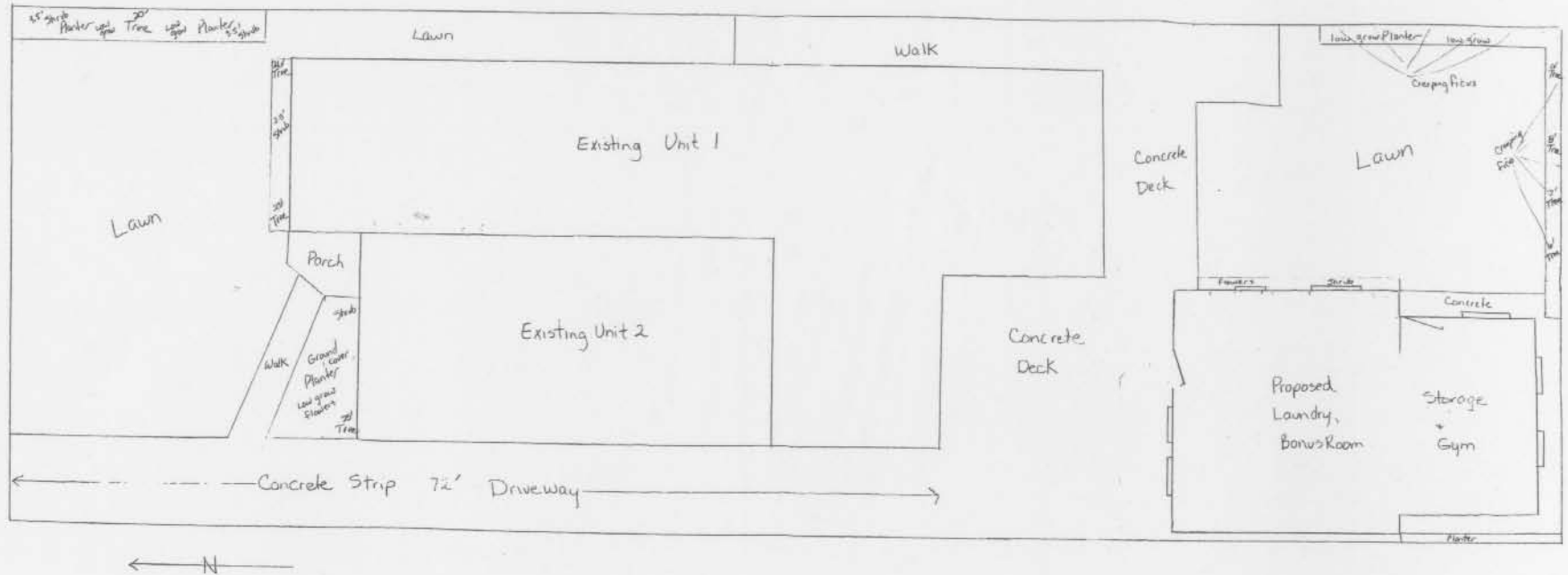
R J Thomas Associates, Inc.
architecture • planning • engineering •
• Rancho Cucamonga, CA, 91737
Telephone: (909) 944-2144
Fax: (909) 944-3600

FIRST FLOOR PLAN
GREATER OPEN DOOR
130 E. ARTEZIA BLVD.
LONG BEACH, CA 90810

DRAWN
BY
CHECKED
BY
DATE
10-28-08
SCALE
JOB NO.
NOTED

SHEET
A-2.2
OF SHEETS

ATTACHMENT 6



Scale $\frac{1}{4}" = 1'$

- 13- low grow plants flowers
- 4- ground cover
- 8- Trees
- 6- Shrubs

Landscape Plan

[illegible]

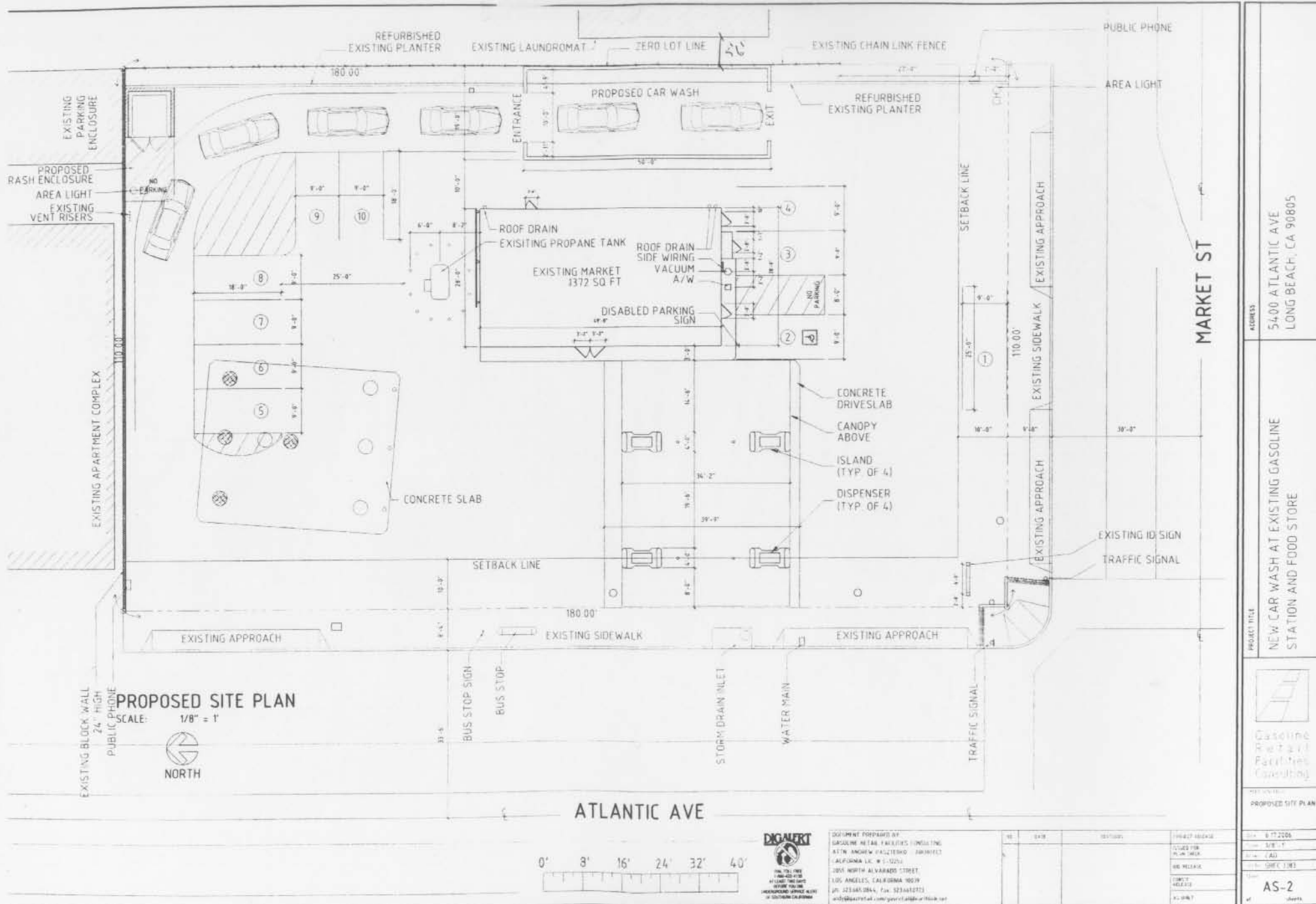
WZ	yttrichPds

PLANS FOR:

DESIGN	CAD
DATE	11/1/06
SHEET	

A-1

ATTACHMENT 9



REVISED



SCALE: 1/8" = 1'

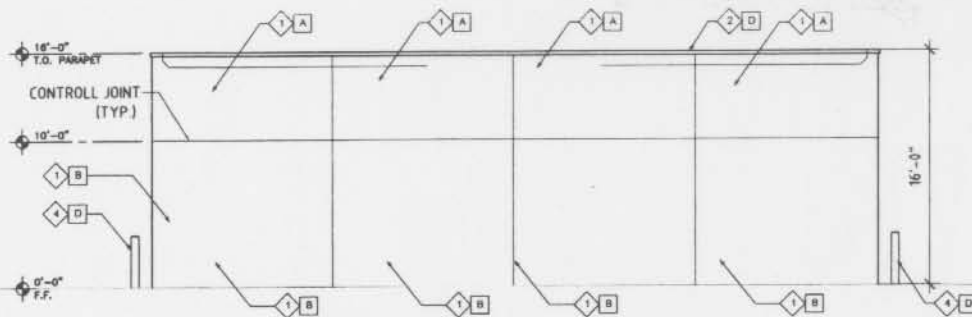
 LANDSCAPED AREA 1522 16.50 FT

DOCUMENT PREPARED BY:
GASLINE RETAIL FACILITIES CONSULTING
ATTN: ANDREW PASZTERNO - ARCHITECT
CALIFORNIA LIC. # C-32253

NO	DATE	REVISIONS	PROJECT HELIX
1	08.24.2008	REVISED PER MEETING WITH LEHUR D. HAWKINS (08.15.2008)	ISSUED FOR PLAN CHECK

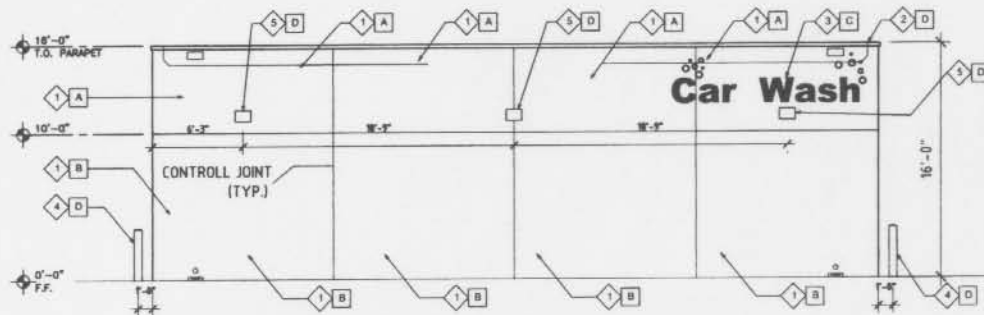
Date	6-17-2006
Grade	18E-1
Drawn	(AD)

ATTACH. 9 (Cont.)



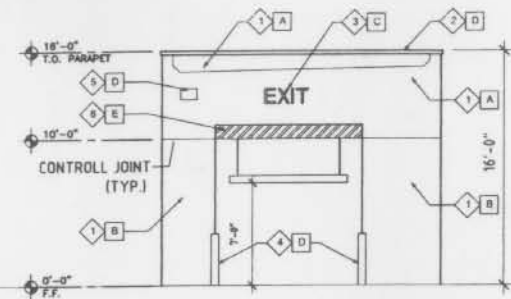
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'



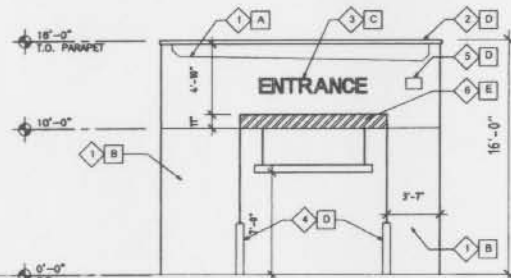
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'



PROPOSED SOUTH ELEVATION

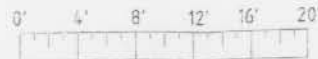
SCALE: 1/4" = 1'



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'

LIST OF MATERIALS		COLOR LIST	
1	PAINTED EXTERIOR CEMENT PLASTER	A	"LA HABRA" X-55 FRENCH VANILLA
2	METAL FLASHING PAINTED WHITE	B	"LA HABRA" X-73 EGGHELL
3	INTERIALLY ILLUMINATED CHANNEL LETTERS-SUBJECT TO SIGN PROGRAM	C	BLUE
4	#6" OD BOLLARDS PAINTED WHITE	D	WHITE
5	WALL PACK EXTERIOR LIGHT LSI MODEL # EDWB1755M8P6M1W1H10	E	RED
6	ACM METAL PANEL PREFINISHED		



DOCUMENT PREPARED BY:
GASOLINE RETAIL FACILITIES CONSULTING
ATTN: ANDREW PAULTERING - ARCHITECT
CALIFORNIA L.C. # C 12253
2205 NORTH ALVARADO STREET
LOS ANGELES, CALIFORNIA 90064
PH: 323.645.0964 FAX: 323.645.0973
andypa@gasolinefacilitiesconsulting.com

NO.	DATE	REVISIONS	PROJECT RELEASE
			CHECK FOR PLAN CHECK
			NO RELEASE
			THIRD REVIEW
			BY: 6/17/2006
			Scale: 1/4" = 1'
			Drawn: CAD
			Job No: GRPC 3383
			Sheet: A-2.1
			of 2

ADDRESS:
5400 ATLANTIC AVE
LONG BEACH, CA 90805

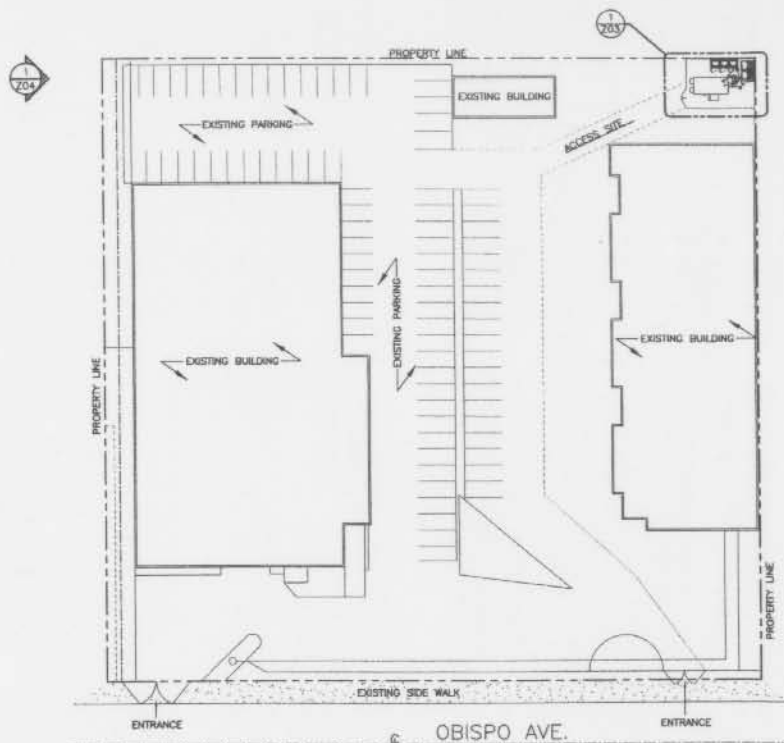
PROJECT TITLE:
NEW CAR WASH AT EXISTING GASOLINE
STATION AND FOOD STORE



Gasoline
Retail
Facilities
Consulting

SHEET CONTAINS:
CAR WASH
ELEVATIONS

ATTACHMENT 10



(1) EXISTING CIRCULAR WIRELESS ANTENNAS SECTOR C @ 340° AZMUTH

PROPOSED CIRCULAR WIRELESS ANTENNA SECTOR C @ 340° AZMUTH

EXISTING CIRCULAR 47'-0" MONOPOLE

(1) EXISTING CIRCULAR WIRELESS ANTENNAS SECTOR B @ 110° AZMUTH

PROPOSED CIRCULAR WIRELESS ANTENNA SECTOR B @ 110° AZMUTH

PROPOSED CIRCULAR WIRELESS ANTENNA SECTOR A @ 100° AZMUTH

(1) EXISTING CIRCULAR WIRELESS ANTENNAS SECTOR A @ 100° AZMUTH

SITE PLAN

SCALE 1/8" = 1'

ANTENNA LAYOUT

SCALE 1/4" = 1'



NORTH LONG BEACH
SITE NO. LSAACA0122
USID: 24324
5875 OBISPO AVE.
LONG BEACH, CA 90805



NO.	DATE	REVISIONS	BY	CHK	APP'D
0	09/21/05	ISSUED FOR ZONING	AS	AS	YJ
1	08/16/05	ISSUED FOR REVIEW	AS	AS	YJ
2					
3					
4					
5					
6					
7					
8					
9					

CINGULAR WIRELESS

SITE PLAN &
ANTENNAS LAYOUT

JOB NO.	DRAWING NUMBER	REV
24887-211	LA-LSAACA0122-202	0



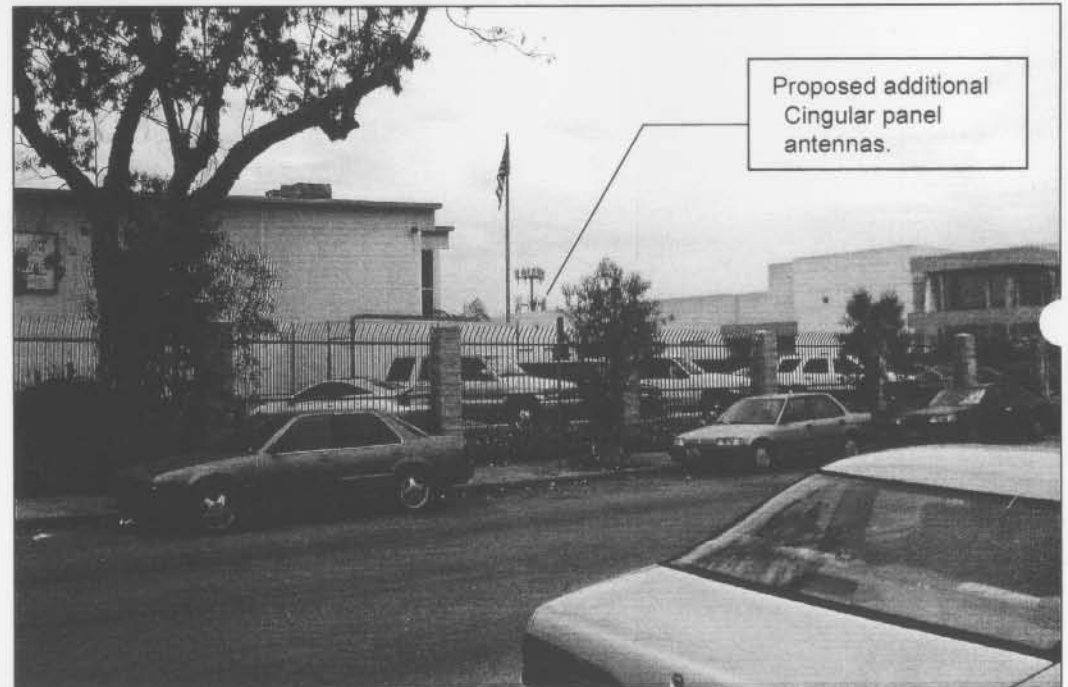
Existing Cingular
panel antennas.

Existing

View 2

*Looking northwest from
across Obispo Ave. toward
subject site.*

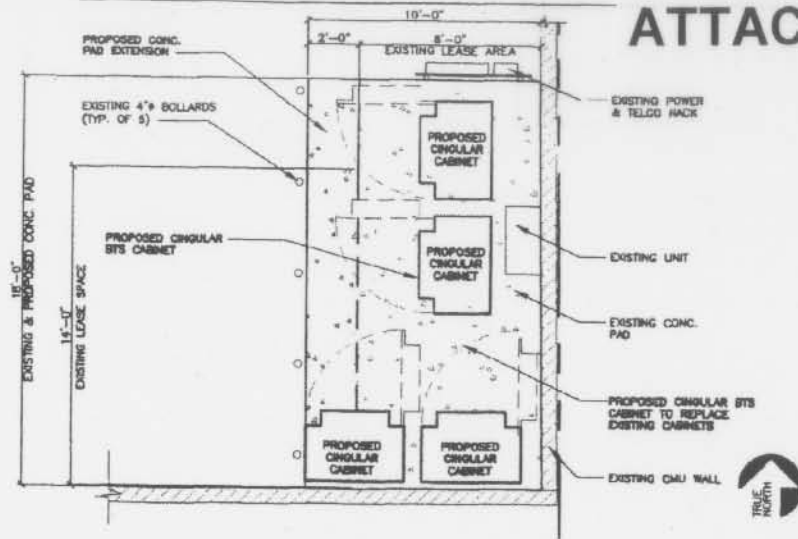
Photo-simulation



Proposed additional
Cingular panel
antennas.

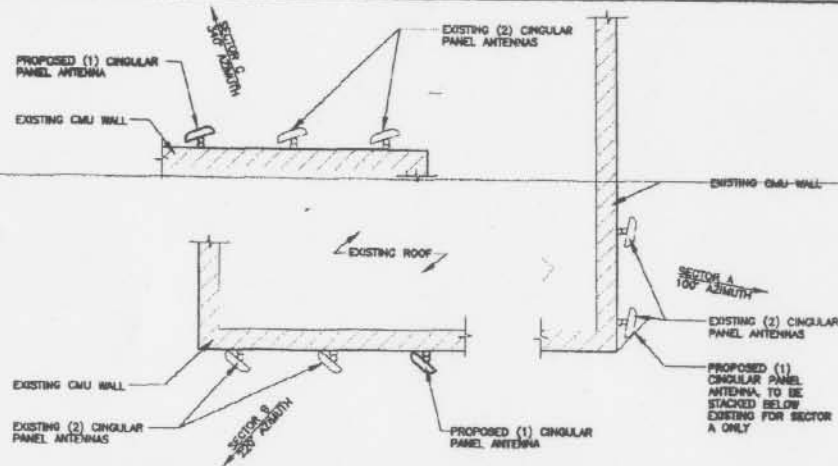
ATTACHMENT 11

SOUTH STREET



EQUIPMENT LAYOUT

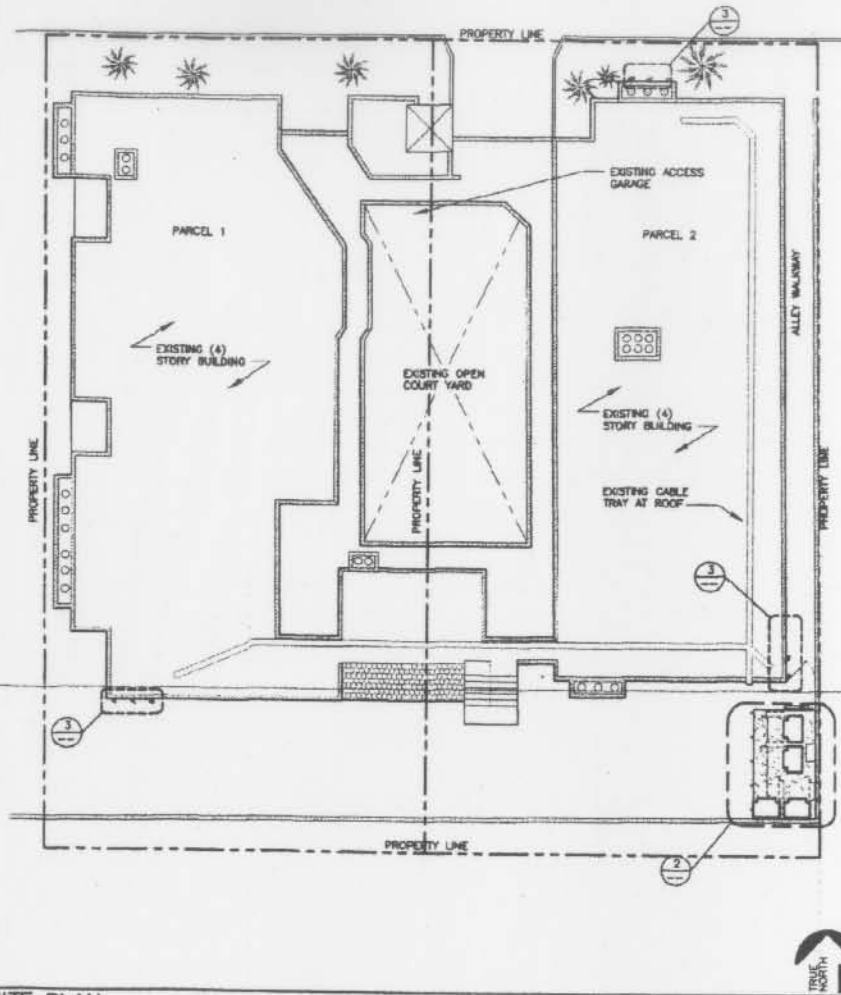
SCALE 1/8" = 1'



ANTENNA LAYOUT

SCALE 1/8" = 1'

3 SITE PLAN



SCALE 1/8" = 1'

1



Communication Services, Inc.

1 Corporate Dr. Suite 300, La Palma, CA 90623
714-940-1440 Fax: 714-940-1441

SOUTH/ORANGE
SITE NO. LSANCA0173
USID: 25705
1340 E. SOUTH STREET
LONG BEACH, CA 90805



NO.	DATE	REVISIONS	BY	CHK	APP'D
0	10/26/05	ISSUED FOR 200505		AL	AL
1	10/18/05	ISSUED FOR 200505		ME	AL
2	09/21/05	ISSUED FOR 200505		AL	AL
3	08/16/05	ISSUED FOR REVIEW		MS	AL

SCALE: AS SHOWN DESIGNED: DRAWN:

CINGULAR WIRELESS

SITE PLAN, EQUIPMENT & ANTENNA LAYOUT

2005-011 LA-LSANCA0173-Z02

0

Existing
Cingular panel
antennas.



Existing

Photo-simulation

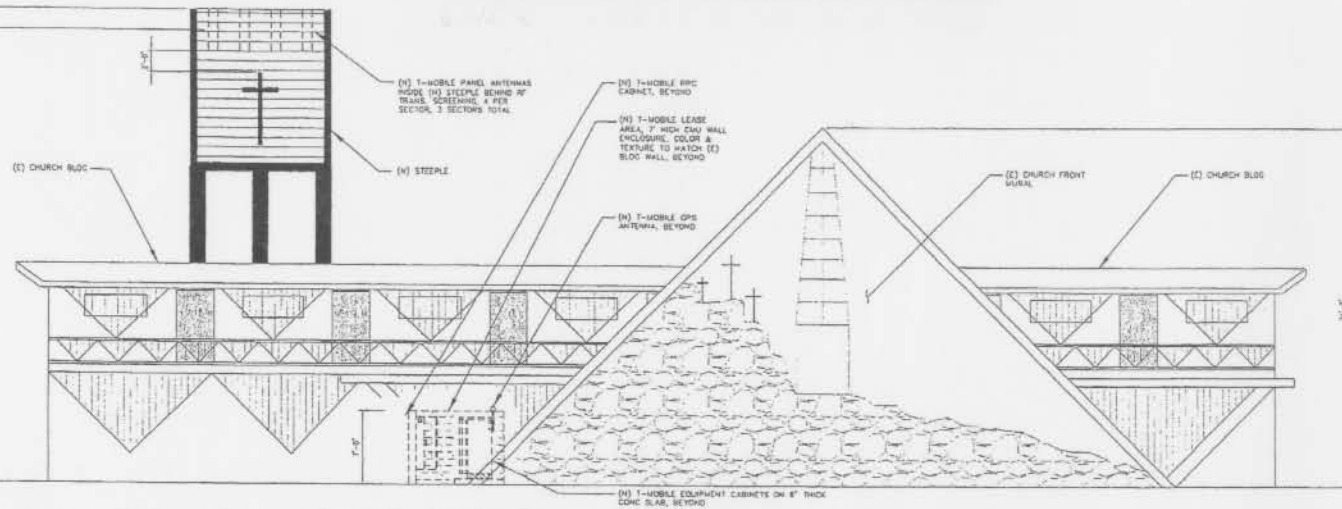
View 1

*Looking southwest from
across South St. toward
subject site.*

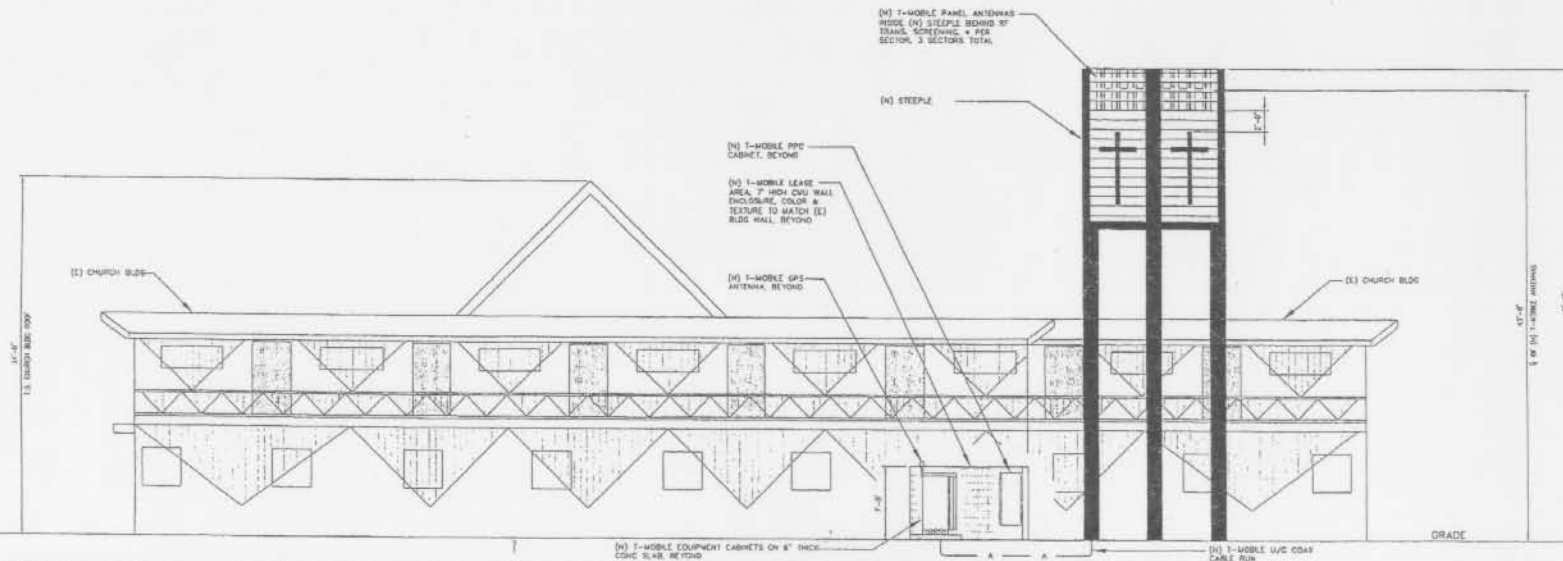
Proposed
additional Cingular
panel antennas.



ATTACHMENT 12



NORTH ELEVATION



SOUTH ELEVATION

DATE:		02/22/06	
CIVIL ENGINEER		CDO	
DRAWN BY:		SB	
CHECKED BY:		JPC	
REVISIONS			
REV	DATE	DESCRIPTION	BY
A	02/17/05	ISSUED FOR REVIEW AND COMMENT	SB
0	02/22/06	ISSUED FOR SUBMITTAL	JPC

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET
OF DRAWINGS IS PROPRIETARY BY NATURE.
ANY USE OR DISCLOSURE OTHER THAN
THAT WHICH RELATES TO THIS CASE IS
STRICTLY PROHIBITED.

T-Mobile
3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

PROJECT MANAGER:

CIVIL ENGINEER

CDG

THE UNIVERSITY OF CHICAGO
 5408 S. UNIVERSITY AVE. CHICAGO, ILL. 60637
 TEL: 773/936-3100 FAX: 773/936-3101

COG#: 00-9027

CONSULTANT:



Trillium Telecom
Services, LLC
5972 Solus Ave., Huntington Beach, CA 92649

SCALE:

SITE NAME:
GLAD THINGS CHURCH

STG NUMBER: LA03579

SITE TYPE: STEEPLE ANTENNA INSTALLATION

LOCATION:
1900 E. SOUTH STREET
LONG BEACH, CA 90805
COUNTY OF LOS ANGELES

APPL. TYPE
0000

NORTH & SOUTH
ELEVATIONS

SHEET NUMBER

A-3

ATTACHMENT 12

REVISED

DATE: 04/21/06
CIVIL ENGINEER: CDG
DRAWN BY: BB
CHECKED BY: JPC

REVISIONS		
REV	DATE	DESCRIPTION
A	02/17/06	ISSUED FOR REVIEW AND COMMENT
B	02/22/06	ISSUED FOR SUBMITTAL
C	04/21/06	ISSUED FOR SUBMITTAL

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY TO THE ENGINEER. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE PROJECT IS STRICTLY PROHIBITED.

CLIENT:
T-Mobile
3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

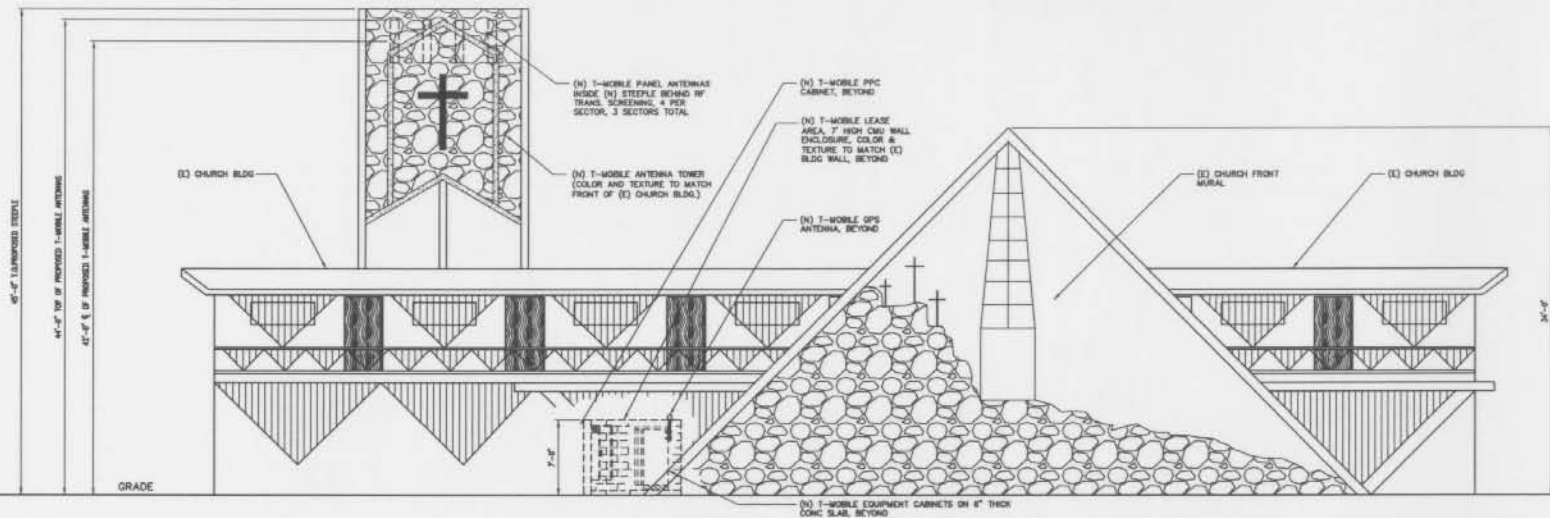
PROJECT MANAGER:

CIVIL ENGINEER:
CDG
CORRELL DESIGN GROUP, LLC
10000 E. 15TH AVE., SUITE 100
DENVER, CO 80232
CDG# 06-9027

CONSULTANT:
Trillium Telecom Services, LLC
1111 Bala Ave., Huntington Beach, CA 92649

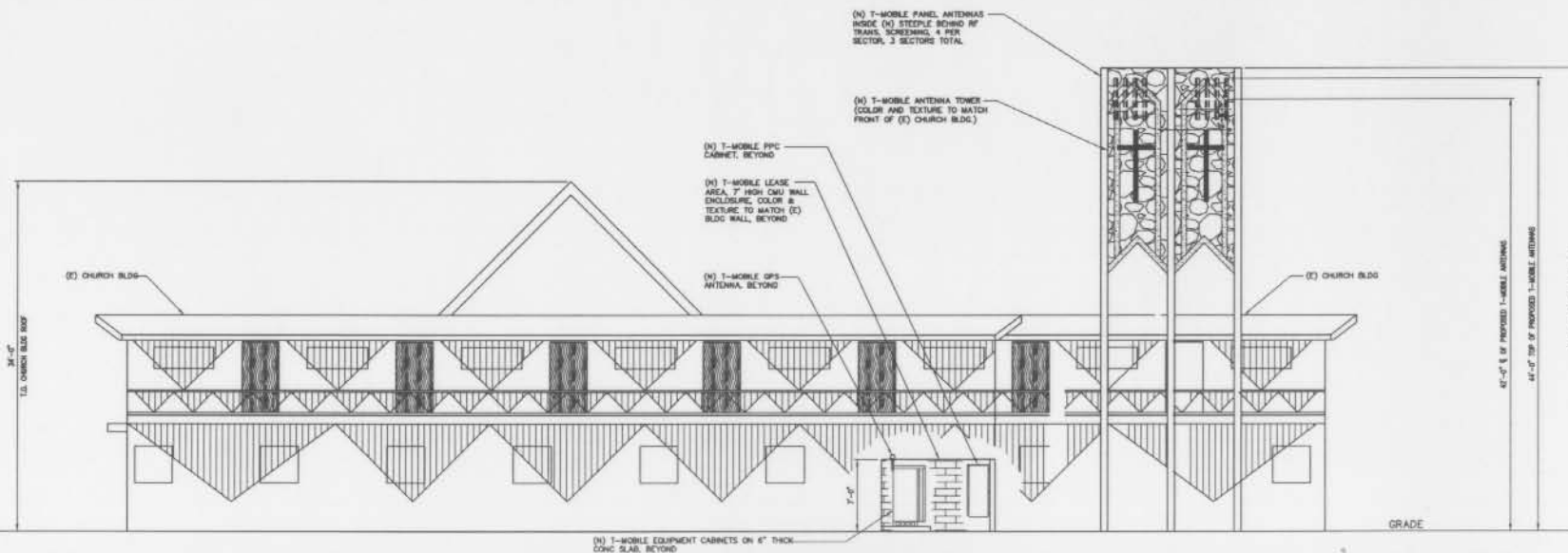
SCALE:

SITE NAME: GLAD TIDINGS CHURCH
SITE NUMBER: LA03579
SITE TYPE: STEEPLE ANTENNA INSTALLATION
LOCATION: 1900 E. SOUTH STREET LONG BEACH, CA 90805 COUNTY OF LOS ANGELES
APPL. TYPE: NORTH & SOUTH ELEVATIONS
SHEET NUMBER: A-3



NORTH ELEVATION

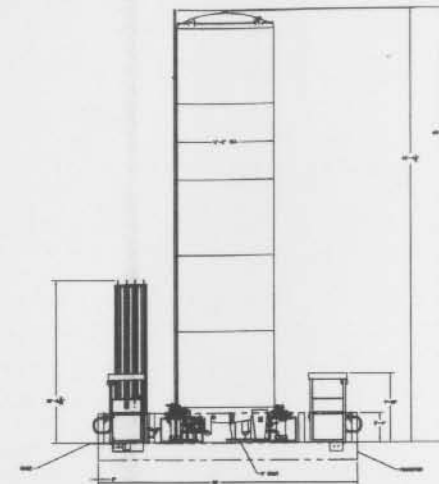
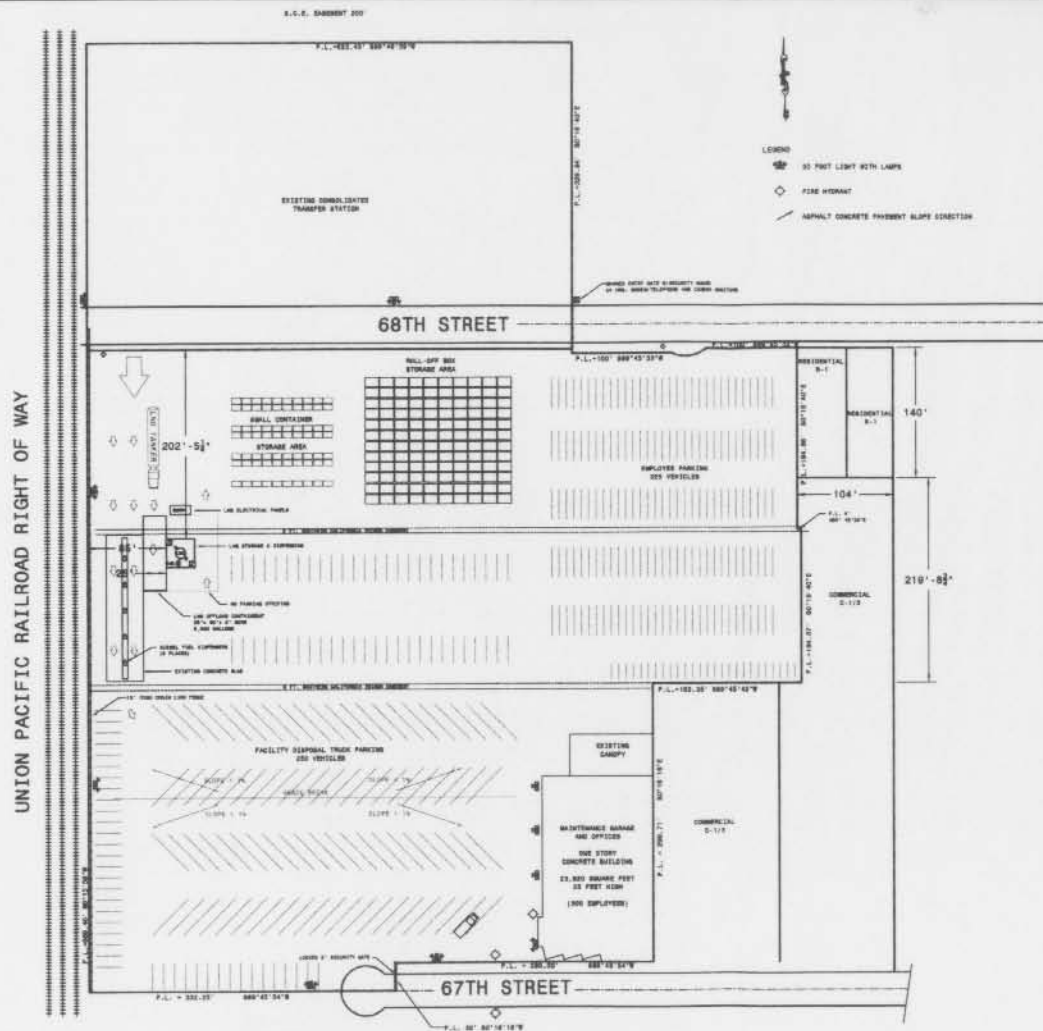
SCALE: 1/8\"/>



SOUTH ELEVATION

SCALE: 1/8\"/>

ATTACHMENT 13



LNG IMPOUND AREA ELEVATION

Notes:

1. Original CUP (Conditional Use Permit) August 1998
9805 - 11
9805 - 18
2. See NPDES Report for site drainage details
3. Site area 184,374 S.F. - 4.2 acres
Building 15,055 S.F.
Area/Building Ratio = 15,055/184,374 = 8%
4. No trees on the site
5. Two site easements; SCE and PUC
6. Minimum Changes in vehicle parking; 6 parking spots will be used for the LNG Station. Vehicles will be relocated onsite.
7. Plot at Architectural "D" size 36"x 24".

SCALE: 1/8"=1'		DATE: 02-14-05		REVISIONS:		REV. BY:	
DRAWN BY: SFL		DATE: 02-14-05		Rev. A, Add Elevation View		P.L.	
CHECKED BY:		DATE:		Rev. B, Add Parking Details		S.L.	

Weaver Electric, Inc.

DATE: 02-14-05
BY: SFL
REV: 02-14-05

Project: 118
Rev: 1/18/05

PROJECT:
Consolidated Refuse
LNG-LCNG Fueling Station

SHEET NAME:
Consolidated Refuse
Site Plan View

SHEET:
S-1
SHEET 1 OF 1

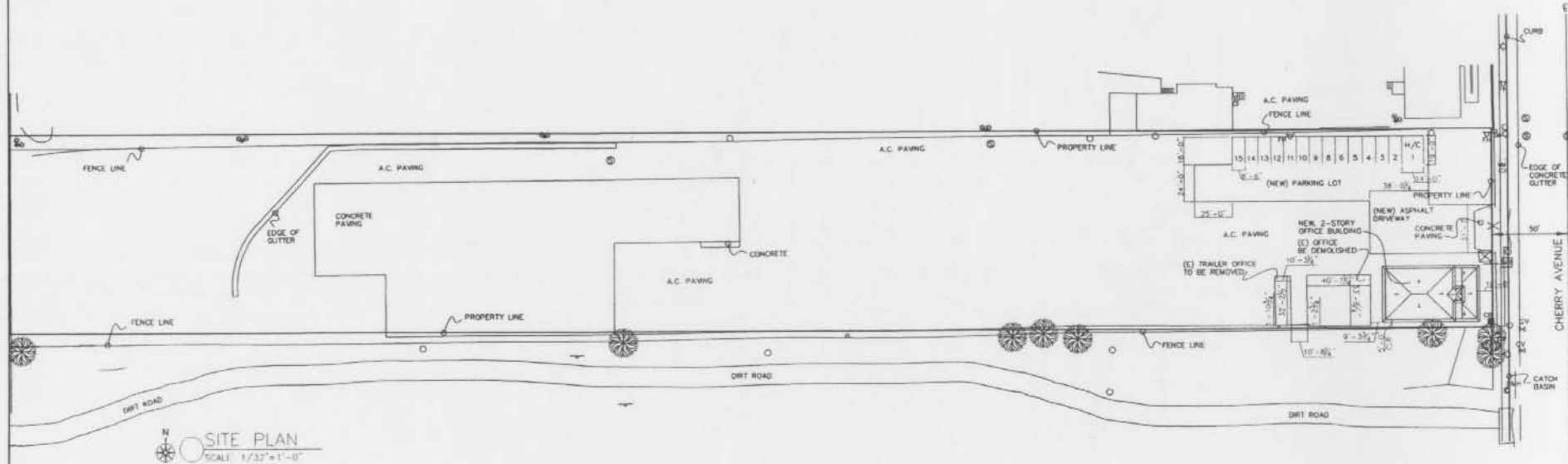
ATTACH. 13 (Cont.)



1. Original CUP (Conditional Use Permit) August 1998
9805 - 11
9805 - 18
2. See NPDES Report for site drainage details
3. Site area 184,374 S.F. - 4.2 acres
Building 15,055 S.F.
Area/Building Ratio = 15,055/184,374 = 8%
4. No trees on the site
5. Two site easements; SCE and PUC
6. Minimum Changes in vehicle parking; 6 parking spots will be used for the LNG Station. Vehicles will be relocated onsite.
7. Plot at Architectural "D" size 36"x 24".

SHEET:
S-1
SHEET 1 OF

ATTACHMENT 16



CHAO & ASSOCIATES CONSULTING ENGINEERS INC.

Structural/Seismic/Forensic

2649 E. VALLEY BLVD., SUITE #C, WEST COVINA, CA 91792
TEL: 626-581-8861 626-786-9558 FAX: 626-581-1228



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CH2M HILL ASSOCIATES
CONSULTING ENGINEERS, 1990
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REVISIONS

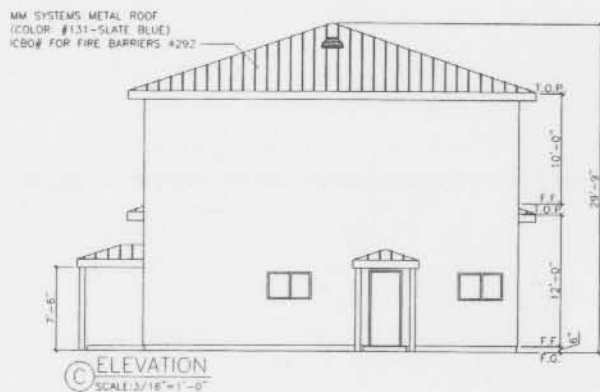
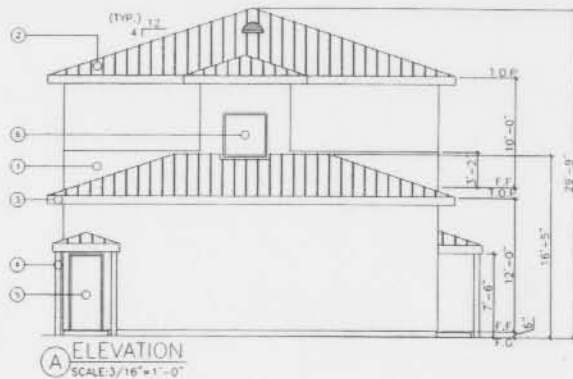
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NEW OFFICE BUILDING
6901 CHERRY AVE.
LONG BEACH, CA 90805

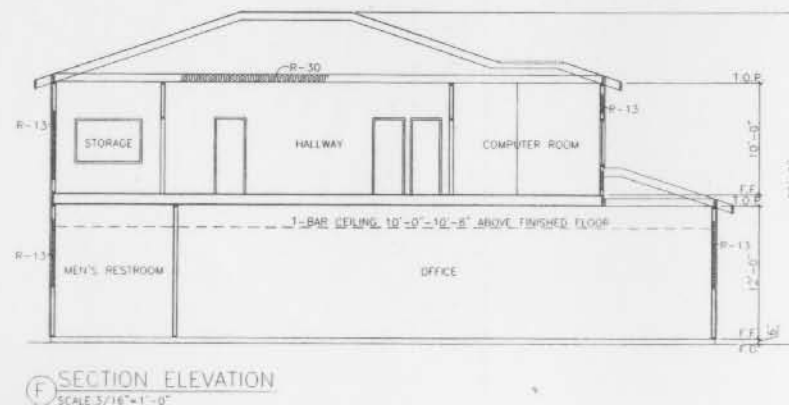
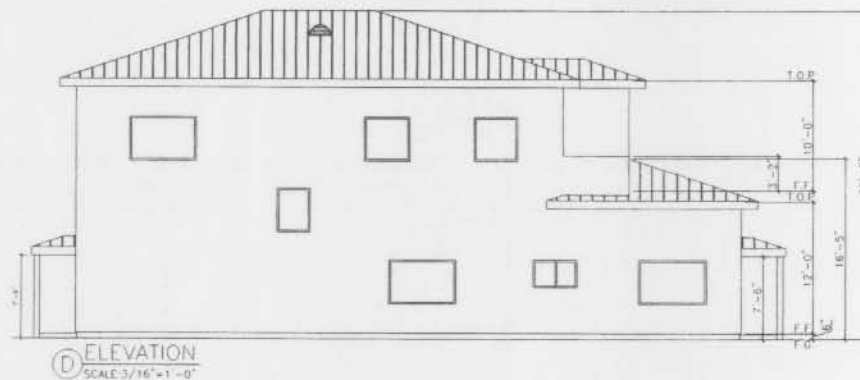
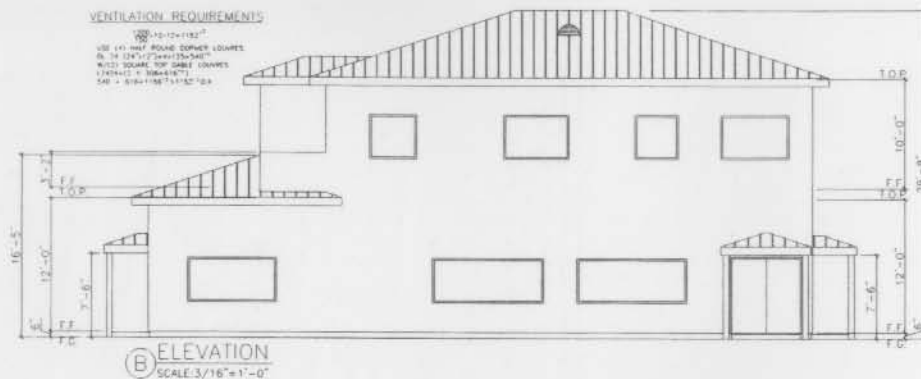
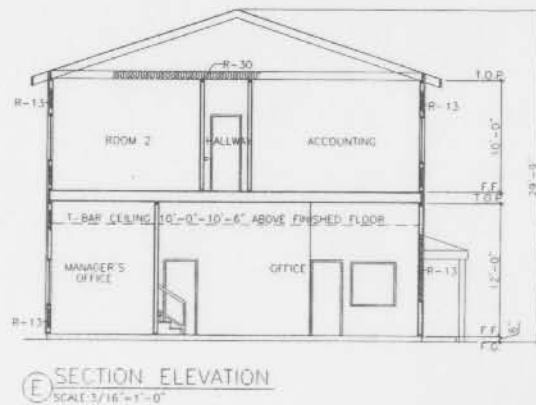
SITE PLAN

Job No.
Drawn By
Date
Scale NOT
Sheet No.

A-1

ATTACH. 16 (Cont.)

EXTERIOR FINISH/MATERIAL SCHEDULE		
#KEY	COLOR	INFORMATION
(1)		"STUCCO," 7-830 CLAY (BASE 200) OF "LA HABRA STUCCO" PROVIDED - 3049
(2)		WALL SYSTEM; METAL ROOF W/BOB FOR FINE BARRIERS 4292
(3)		EAVE, (SIMILAR TO) CHIMNEY SPICE ECC-BD, OTHER PAINTS
(4)		POLIST, (SIMILAR TO) CHIMNEY SPICE ECC-BE, OTHER PAINTS
(5)		DOORS, (SIMILAR TO) CHIMNEY SPICE ECC-BE, OTHER PAINTS
(6)		WINDOWS; BLACK COLOR



CHAO & ASSOCIATES CONSULTING ENGINEERS INC.

Structural/Seismic/Forensic

2849 E. VALLEY BLVD., SUITE #C, WEST COVINA, CA 91792
TEL: 626-581-8881 626-786-9358 FAX: 626-581-1228



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REVISIONS

[illegible]

NEW OFFICE BUILDING
6901 CHERRY AVE.
LONG BEACH, CA 90805

ELEVATIONS

Job No.

Organ By

Date _____

Scale $3/16"=1'-0"$

Sheet No.

A-3

ATTACHMENT 17

GENERAL NOTES:

1. Cons. to be 2000 p.s.i. @ 28 days, Type V.
2. All items to be grade marked as follows:
 - a. Vertical grade construction and grade
 - b. Horizontal grade & within 0.1" of 1" inch
 - c. Slopes & grades 0.1" of 1" inch
 - d. Pavement door & not slip Panel Index 10-10
 - e. Special roof slope 0.1" of 1" of 1"
3. Being exterior wood doors to be equipped with a deadbolt & deadlocking device both key operated from outside. Deadbolt to have a hardened insert, 1" min. throw, and 5/8" endowment into the jamb.
4. Wood doors to be min. 1-3/8" thick. Doors with accessible pins from exterior shall have non-removable pin type hinges. Door stop to be one piece construction or joined by a rabbet.

5. Shifting glass doors & windows shall be capable of withstanding burglary resistance test per local building authority or A.S. Best 8100.8 8107 or L.A. County Building Code and bear lowest entry resistance value.
6. Doors & windows opening by exterior or an unconditioned space shall be weatherstripped to limit air infiltration. All sliding exterior glass doors and windows shall meet air infiltration standards as required by federal and/or local authority and be certified and labeled thus:
 - a. Insulation compliance card shall be posted in a conspicuous location within the building.
 - b. Inspection is required for all in-place interior and exterior with or without before any raftering is covered.
 - c. Shower/tub enclosures and doors to be 3/8" fully tempered, 1/4" thickener approved plastic. All doors to swing out from shower compartment.
 - d. Walls at showers and tubs shall be approved tile, fiberglass, or cement plaster to 8" of masonry or brick. Material other than structural elements to be moisture resistant.
7. Windows & doors shall be designed to withstand 20 lbs. of lateral force at top of sill. Leg supports to assist locking or approved framing members. Raftering with open ends to have intermediate ribs or bracing @ 9" o.c. maximum.
8. Handrails to be 30" to 36" above grab railing, 1-1/2" clear in wall, 3-1/8" min. width, and made turned or wall or support plate.

9. Pen systems extending out from the building to be equipped with back-drift devices.
10. Handrails & grab rails to be designed to withstand 20 lbs. of lateral force at top of sill. Leg supports to assist locking or approved framing members. Raftering with open ends to have intermediate ribs or bracing @ 9" o.c. maximum.
11. Handrails to be 30" to 36" above grab railing, 1-1/2" clear in wall, 3-1/8" min. width, and made turned or wall or support plate.

OWNER APPROVAL NOTE:
Contractor is not responsible for existing work conditions or unknown conditions on the site. If these prevail an additional cost will be added before work will continue.
Additional to changes in these plans or specifications will be an additional charge.
All extra work orders are payable in advance of the work being performed.
Contractor will also be the job in progress payments are not paid when due and time added to the completion date equal to two days for each day the payment is not made.

Specification items not shown do not apply & are not included.
Matching of new material to the existing will be as close as possible with standard material nearby available.
We have read and fully understand these plans and specifications and agree them for completion. We understand that these plans along with the contract constitute the entire agreement and verbal agreements will not be honored.

SPECIFICATIONS

EXISTING CONDITIONS & DEMO.

DOOR TYPE	FLOOR
HT ABOVE GRADE	OVERLAYS
CEILING	INTERIOR
CEILING HT	FACIA
STUCCO STEP	BARICUT
DEMO SLAB	STUCCO STEP
FINISHING	FINISHING
FRAMES	FENCE
CEMENTATION	CANALIS
PATIO ROOF	CHALKHOLE
TILE/MICA	

EXTERIOR FINISH

STUCCO - MATCH EXISTING COLOR & TEXTURE AS SUBMITTAL	
PURPOSE & NOT HIGHER MATERIAL THAT IS READY AVAILABLE	
SAVING, 1/2" AND 1/4" SOLID OR COURT EXISTING	
SPANISH TEXTURE	
WOOD BOND	
TYPE OF MATERIAL	

INTERIOR FINISH SCHEDULE

ROOM	FLOOR	WALL	CEILING

CONCRETE

SLAB FLOOR	HT ANY GRD
STEM WALL	HT ANY GRD
STEP STUCCO	FINISHING
EXPANDED SOL	PIERS
CEMENTATION	CURBS
DRIVEWAY	APPROACH
FLATWORK	

ROUGH FRAMING (per plans)

ROOF STYLE	OPEN BM
DRIP ROCK	FLASHING
PATIO ROOF	FLASHING
CEILING TYPE	
WALL TYPE	
WALL	

WINDOW SCHEDULE

NO.	SIZE	TYPE	GLASS/PANE

DOOR SCHEDULE

NO.	SIZE	TYPE	OPERATION	LOCK

ROOFING

ROOF FINISH	
MATERIAL	
CRACK	
PARAPET WALL	DRAIN
AS-ROOF HOUSE	GARAGE

PLUMBING

TOILET	FAUCET
LAVATORY	
TUB	W/SHOWER
BROWER	
SEWER TIE IN	
SKALING TO FIREPLACE	
GASLINE TO OTHER	
WALL ETS	HT THERMO
PAU	HT W/A C
BAR SINK	
GARAGE DISPOSAL	
HOOK UP APPLIANCES	
R/W	RANGE
	OVEN
	ICE

RELOCATE EXISTING PLUMBING	
WASHER	OTHER
WATER MTR	W/MT CAR
WATER MAIN	GAS METER
CLEAN OUT	HT R/W
LOWER WATER	W/ROFTER
SPRINKLER	SAF
EXISTING TUB	TOILET
POOL TRAPS	YD. DRAIN

ELECTRICAL

FLOOR	SWITCH	LIGHTS
OFF	W/MT	W/MT
EXT FAN	W/MT	W/MT
TV	W/MT	W/MT
HOOK UP APPLIANCES	W/MT	W/MT
G.W.	W/MT	W/MT
WASHER	W/MT	W/MT
SMOKE DETECTOR	W/MT	W/MT
SERVICE INCREASE	W/MT	W/MT
UNDERGROUND	W/MT	W/MT
LUMINOUS CEILING	W/MT	W/MT

INSULATION

EXTERIOR WALLS	
CEILING JOIST	
ROOF INS	W/PLYWOOD
EXISTING ATTIC	
EXTERIOR ROOF	

TRIM OUT

BASE & CASING	DOORS
CLOSET SHWLS & POLE	
LAUNDRY SHELF	CABINETS
TRIM PICES	
BATH ACCESSORIES	
CABINETS	KITCHEN
W/MT	BATH

CABINETS

KITCHEN	
BATH	
MISC	

TILE-MICA-MARBELENE

KITCHEN DTR	SLASH
FULL BATH	SLASH
PASS THRU	
TRIM PICES	
SHOWER	
FLOOR	

MASONRY

HEARTH	SIZE
CHIMNEY	DOUBLE
METAL BOV	
LOG LIGHTER	
STEPS	VENGE

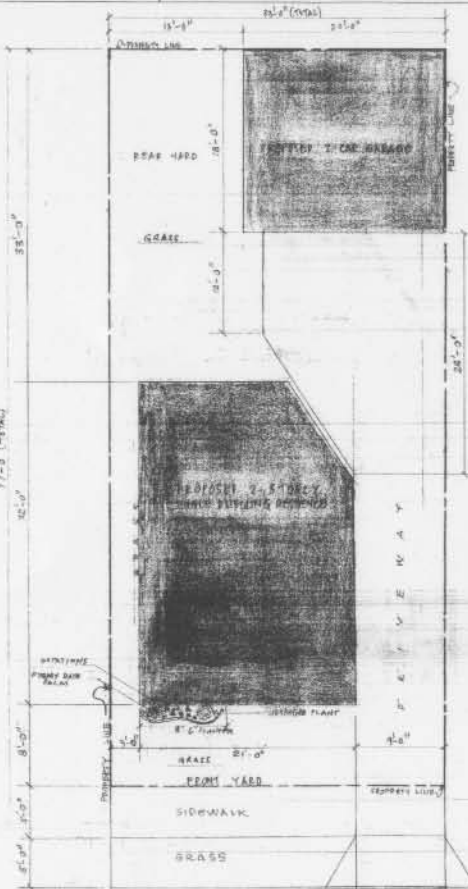
MISCELLANEOUS

PLANE	PERMITS
CLEANUP	PAINTING BY OWNER
SHOWER/TUB ENCLOSURE	DOOR
W/MT	WOOD TAIL
HEAT SHUT	
OUTLET	DOWN SPOUT
APPLIANCE ALLOWANCE	

PROPOSED ADDITION/REMODEL FOR

A-1000 SINGLE DWELLING RESIDENCE

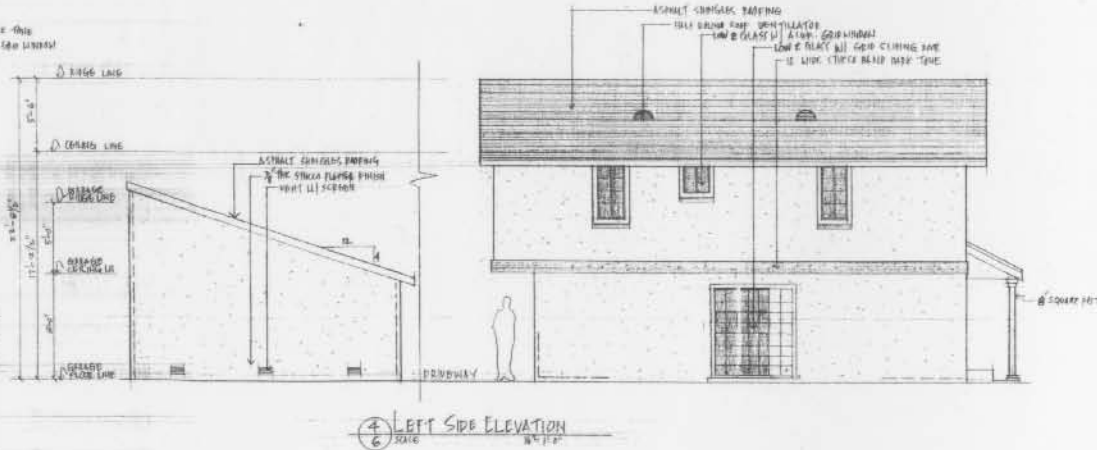
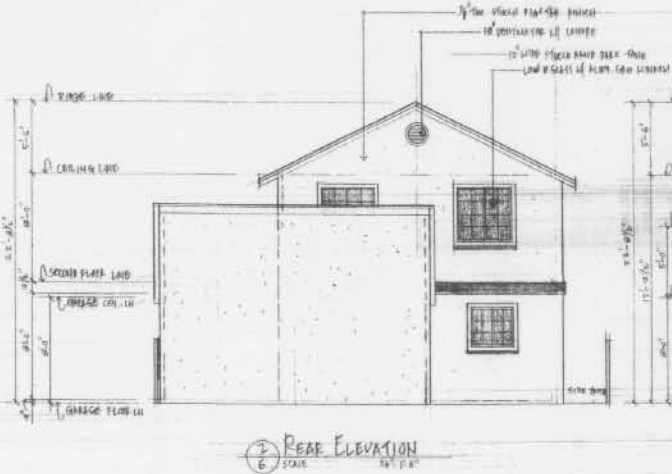
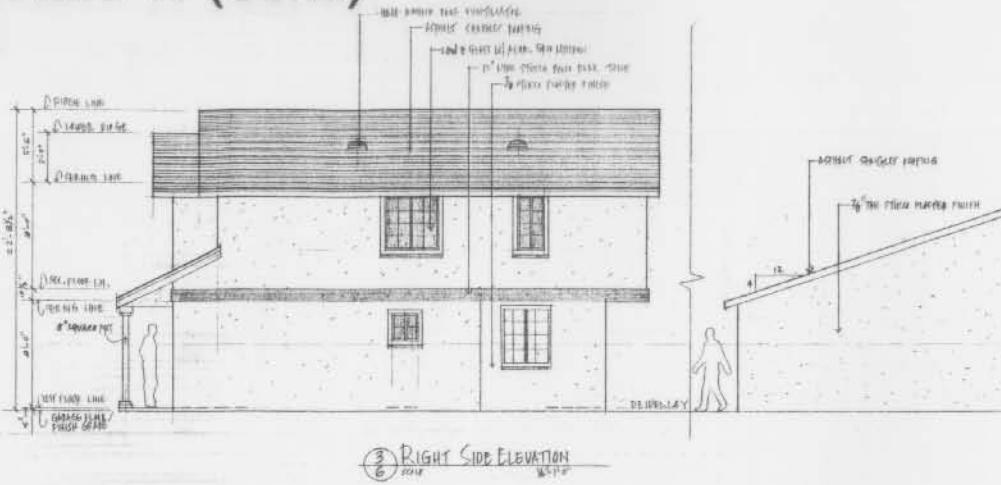
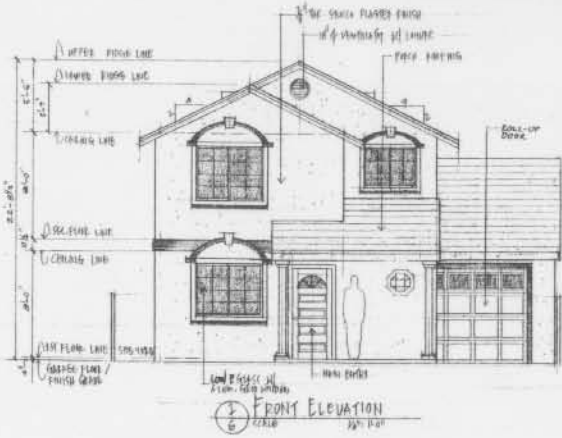
PHONE #	MAP #
SUBJECT/ADDRESS:	
FRANK AGUILAR/	
20 W. DEL AND 20	
LONG BEACH	
DATE	REV
DRAFTSMAN	
SALESMAN	
	1
	2
	3
	4
	5
	6
	7
	8
	9
	10



GROUND FLOOR AREA — 641.13 SQUARE FEET
GARAGE (DETACHED) — 360.00 SQUARE FEET
SECOND FLOOR AREA — 712.25 SQUARE FEET
TOTAL FLOOR AREA — 1359.30 SQUARE FEET

AREA OF LOT = 73' X 73' = 2,409 SQUARE FEET

① PLOT PLAN & LANDSCAPING
SCALE 1/8" = 1'-0"

ATTACH. 17 (Cont.)

19	06	Sheet	Date	Drawn	Job	Scale	Notes
NAME OF PROJECT:			A 2 STORY TRAILWELLING RESIDENCE				
ADDRESS/LOCATION:			FRANK AGUILING / 20 N. DEL AMO				
SHEET CONTENTS:			FRONT ELEVATION, REAR ELEVATION, RIGHT SIDE ELEVATION, LEFT SIDE ELEVATION				
REVISIONS:							
BY:							

ATTACHMENT 18

Royal Street
Communications, L.L.C.

LA0553B

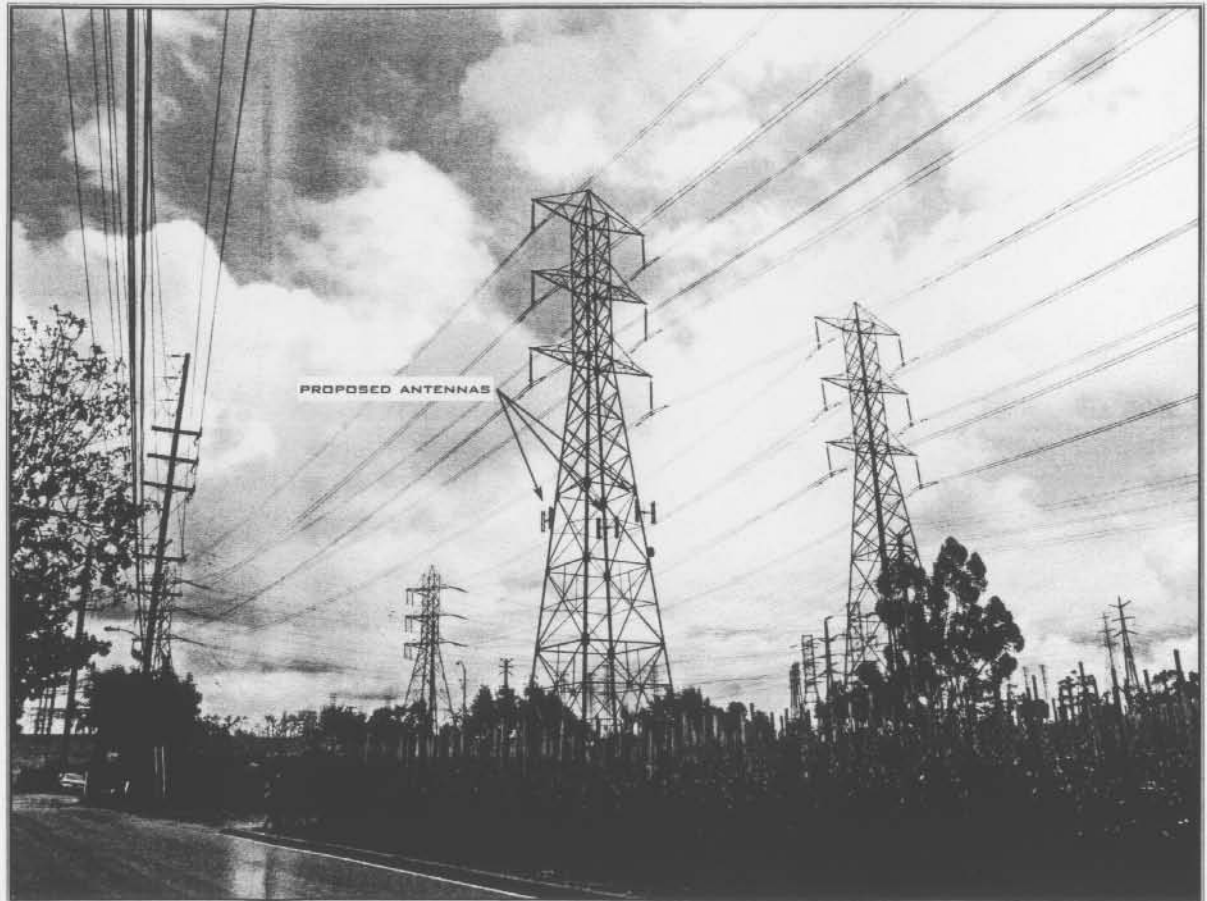
SCE MESA REDONDO M1 T1

SCE TOWER AT GREENLEAF & ATLANTIC COMPTON CA 90221

LOCATION



VIEW 1



EXISTING

PROPOSED - LOOKING SOUTHEAST FROM GREENLEAF AVENUE

ARTISTIC
RENDERING
(714) 680-3905

ATTACHMENT 19

PROJECT DATA

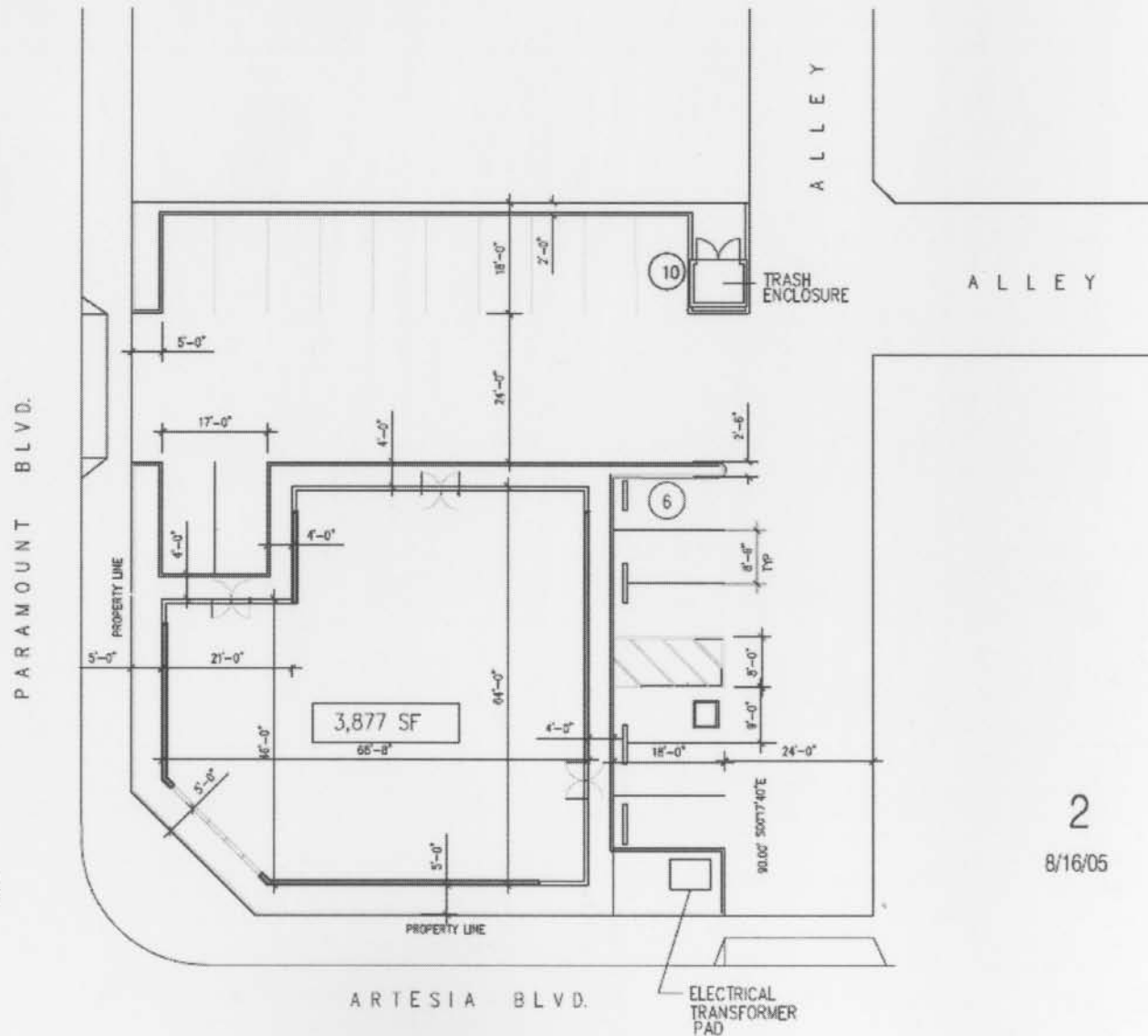
SITE AREA	13,281 SF
BUILDING AREA	
GROSS SF	3,877 SF
NET SF	3,453 SF
SITE COVERAGE	29%
PARKING REQUIRED	17 SPACES
PARKING PROVIDED	18 SPACES

THE DEMENSE GROUP
8442 ALONDRA BLVD., PARAMOUNT, CA.
(562) 634-9530

COMMERCIAL DEVELOPMENT
2801 ARTESIA BLVD.,
LONG BEACH, CA.

SITE PLAN

$\frac{1}{16"} = 1'-0"$



2

8/16/05

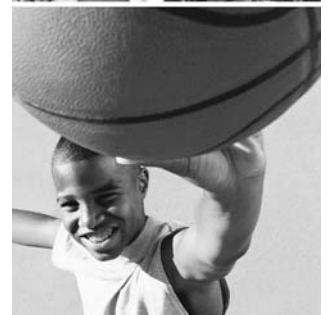
Long Beach: we like it litter-free.



Join Councilmember Val Lerch at these upcoming
9th District Saturday clean-up events for 2006:

- 1. June 17** **9 am - Noon**
Orange Avenue corridor – South Street to Artesia Blvd
Meet at 6095 Orange, Gethsemane Baptist Church parking lot
- 2. July 15** **9 am - Noon**
Atlantic Avenue corridor – South Street to Artesia Blvd
Meet at Houghton Park, NE corner of Harding St and Atlantic Ave
- 3. August 19** **9 am - Noon**
Artesia Blvd corridor – Atlantic Avenue to Cherry Avenue
Meet at NW corner business parking lot on Orange Ave and
Artesia Blvd
- 4. September 16** **9 am - Noon**
Artesia Blvd corridor – Paramount to Downey Blvds
Meet at 3290 E. Artesia Blvd, Farmers and Merchants Bank
parking lot
- 5. October 21** **9 am - Noon**
Long Beach Blvd corridor – Artesia Blvd to city boundary
Meet at 132 E. Artesia Blvd
- 6. November 18** **9 am - Noon**
Cherry Avenue corridor – South Street to Artesia Blvd
Meet at NE corner of Cherry Ave and South St at McDonald's
parking lot

Additional support provided by Neighborhood Services Bureau
High school community service hours available.



www.litterfreeLB.org

City of Long Beach Environmental Services Bureau

In accordance with the Americans with Disabilities Act of 1990, this information is available in an alternate format
by calling (562) 570-2850 or calling TDD# 570-2863.

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